



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, JANUARY 16, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8
 - A. Election of 2018 Chair
 - B. Election of 2018 Vice-Chair
 - C. Election of 2018 Secretary
 - D. Adoption of 2018 Planning Commission Meeting Dates

3. Approval of Minutes from December 19, 2017 Planning Commission Meeting

4. Review Conflict of Interest Policy


5. Public Hearings
 - A. Conditional Use Permit request from Warren & Brett Thunstrom to operate a Microbrewery at 2 Enterprise Avenue NE Suite A3 (PID 16.132.0040)

6. Discussion Items.
 - A. 2017 Community Development Department Report

7. Adjournment

**MEMORANDUM**

TO: Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: January 16, 2018

SUBJECT: **ORGANIZATIONAL MEETING – JANUARY PLANNING COMMISSION**

Each January, it's appropriate to organize our Planning Commission. As such, we will be having elections of the following positions for Planning Commission:

- 1) Chair (currently Mayor Wimmer)
- 2) Vice-Chair (currently Councilman Lundeen)
- 3) Secretary (currently Director Kernosky)

Furthermore, we will be adopting the 2018 Planning Commission Meeting Dates (enclosed).

Please let me know if you have any questions.

2018 Planning Commission Public Hearing Deadlines and Dates

Date	Deadline for Submission	Public Hearing Deadline	PH Publication Date
January 16th	December 15th	December 29th	January 3rd
February 20th	January 19th	February 2nd	February 7th
March 20th	February 23rd	March 2nd	March 7th
April 17th	March 23rd	March 30th	April 4th
May 15st	April 20th	April 27th	May 2nd
June 19th	May 18th	June 1st	June 6th
July 17th	June 22nd	June 29th	July 4th
August 21st	July 20th	August 3rd	August 8th
September 18th	August 24th	August 31st	September 5th
October 16th	September 21st	September 28th	October 3rd
November 20th	October 19th	November 2nd	November 7th
December 18th	November 16th	December 5th	November 30th

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
December 19, 2017**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:29 p.m.

B. Pledge of Allegiance.

Everyone rose for the pledge of allegiance.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley, Jim Kennedy, and Jeff Miller.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director

1D. Agenda Modifications.

Director Kernosky stated that there were no Agenda Modifications, Motion by Lundeen, second by Collison to approve the Meeting Agenda. Motion was unanimously approved.

2. Approval of Minutes from November 21, 2017 Planning Commission Meeting

Motion by Lundeen, second by Collison to approve the Meeting Minutes. Motion was unanimously approved.

3. Public Hearing

A. Request from Kwik Trip, Inc. for approval of Preliminary Plat "Kwik Trip 1019" pertaining to PID 16.040.0830 & PID 16.053.0010.

Director Kernosky provided the Commission an overview of the request from Kwik Trip Inc. Mr. Kernosky stated that the applicant has a purchase agreement with the owner of the former Riverside Market. Mr. Kernosky continued to say that because the property was previously platted, a new plat is required because the use of the property uses both parcels. The request is to combine the two parcels into one large parcel.

Director Kernosky also stated that the County has reviewed the plat and requested that a 60 foot right of way off of CSAH 5 is dedicated to the county for a right turn lane. Staff is recommending approval with the conditions stipulated in the Resolution.

Mayor Wimmer opened the Public Hearing at 7:32 p.m.

Mayor Wimmer closed the Public Hearing at 7:32 p.m.

Mayor Wimmer stated that the plat is consistent with what the City was presented with earlier this year.

Mr. Bergely stated that the discussion about either a round-a-bout or a stop light has been brought up for the E Dual Blvd and CSAH 5 intersection. Those options are up to the County and at this time they don't believe that it's needed.

Motion by Lundeen, second by Lorinser to recommend approval of Resolution 2017-XXX approving the Preliminary Plat for Kwik Trip 1019 with conditions. Motion passed unanimously.

B. Request from Kwik Trip, Inc. for approval of a Conditional Use Permit and Site Plan/Building Appearance to construct a gas station, convenience store, and car wash on PID 16.040.0830 & PID 16.053.0010.

Director Kernosky provided an overview of the proposed site plan/building appearance and Conditional Use Permit for Kwik Trip. Mr. Kernosky stated that the standards for both the gas station, car wash, and convenience store meets the standards set forth in the zoning code. The property meets setback requirements. Staff is recommending approval with the conditions set forth in the Resolution.

Director Kernosky stated that the traffic light should be addressed in the future.

Mayor Wimmer stated that the structure on there will be removed at some point in the future. Dean George, representing Kwik Trip Inc, stated that demolition will happen sometime this winter, with construction commencing either late summer or early fall 2018. They hope to open the store by January 1, 2019.

Mayor Wimmer opened the public hearing at 7:39 p.m.

George Heman, 323 Palomino Road – Mr. Heman recommended that the entrance into the Kwik Trip should be moved to line up with Credit Union Drive to create a four-way intersection.

Mayor Wimmer stated that the City has been working on this issue with the County. The County will not install a controlled intersection without a four-way intersection, and that wouldn't happen until the City acquires right of way on the vacant parcel between the lift station and Minnco Credit Union.

Brian McKulla, 444 E Dual Blvd – Mr. McKulla stated that he was one of the owners at 444 E Dual Blvd, and that he supported the proposed Kwik Trip. Mr. McKulla stated the left and right turn lane on E Dual Blvd to CSAH 5 was poorly designed and should be looked at.

Mayor Wimmer closed the public hearing at 7:42 p.m.

Motion by Lundeen, second by Lorinser to recommend approval of Resolution 2017-XXX approving the site plan/building appearance and Conditional Use Permit with conditions. Motion passed unanimously.

4. Other Business.

A. None.

5. Other Communications.

A. None.

6. Adjournment

Motion by Lundeen, second by to Bergely to adjourn the December 19, 2017 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:45 p.m.

Dated at Isanti, Minnesota this 21st day of December, 2017.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Ryan Kernosky', written in a cursive style.

Ryan Kernosky
Community Development Director



MEMORANDUM

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *RK*

DATE: January 16, 2018

SUBJECT: **PUBLIC HEARING – CONDITIONAL USE PERMIT FOR WARREN AND BRETT THUNSTROM TO OPERATE A MICROBREWERY AT 2 ENTERPRISE AVENUE NE**

Background

A Conditional Use Permit Application (CUP) has been submitted to the Community Development Department by Warren and Brett Thunstrom to open and operate a Microbrewery at 2 Enterprise Avenue Suite A3 (PID 16.132.0040). Pursuant to Isanti Zoning Ordinance Section 11, Article 5, Subd. 4(U), a CUP is required to operate a Microbrewery in the TH-65 Overlay District.

Zoning Ordinance Requirement

Zoning: The subject property is located at 2 Enterprise Ave NE, and is part of a larger building. This property falls within the TH-65 Overlay District of the B-2 Zoning Code. 'Microbrewery' is a Conditional Use in the TH-65 Overlay District.

Parking and Traffic: The parcel is already developed. According to the applicant, there will be up to 50 seats for patrons and up to four employees at a given time. Sit-down restaurants require one stall per 3 seats and 1 space per employee. In this case, 20 stalls would be required.

Signage: The applicant has provided intended signage, but no formal submittal on signage has been received.

Conditional Use Permit Standards

1. In review of the standards established in Section 21, Article 2, Conditional Use (D); the following conclusions have been made (*conclusions to each requirement are shown in italics*):
 - A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
The proposed use for the site is consistent with the goals and objectives of the comprehensive plan.

- B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

The proposed use meets the purpose and intent of the "B-2" & "TH-65" zoning districts

- C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

The proposed use is in a commercial and industrial area. Staff believes that will not be detrimental or endanger the public health, safety, morals, or comfort.

- D. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.

Staff does not believe that the proposed use will be injurious to the use and enjoyment of the other properties within the immediate vicinity.

- E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The conditional use will not impede the normal and orderly development and improvement of the surrounding properties. The use will be located within an existing structure.

- F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

Adequate public facilities and services are currently available.

- G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The conditional use complies to all other regulations within the district in which it is located.

- H. The conditional use complies with the general and specific performance standards as specified by within this Article.

The conditional use complies with the general and specific performance standards as specified within this article, as stated by this document.

Section 21, Article 2, Subd. 4 addresses performance standards for Conditional Use Permit. The standards and staff responses (*italicized*) are below:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.

Staff believes that the existing street is of sufficient capacity to accommodate the type and volume of traffic as a result of this development.

- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.
The proposed CUP will be in an existing building that already is designed for access and parking. All parking is met under Section 17 of this Ordinance.
- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.
Parking for this development does not impact pedestrian circulation.
- D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.
Adequate off-street parking and off-street loading is provided in accordance with section 17 of this ordinance.
- E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.
This section is met.
- F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.
This area is surrounded by commercial and industrial uses. This section is met.
- G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.
This section is met.
- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.
Existing lighting complies with our zoning code. This section is met.
- I. The site drainage system shall be subject to the review and approval of the City Engineer.
This is an already developed site, existing stormwater management has been reviewed and approved.
- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.
The building already exists, and as such, is compliant with our zoning code.

- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.
Existing garbage facilities will be used for trash and recycling purposes.
- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.
The applicant will need to submit a sign permit for review and approval prior to any signage associated with this development being installed.
- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.
The applicant will be required to obtain all proper licensing from the City, State, County, and Federal Governments as deemed necessary.
- N. Any applicable business licenses mandated by City Code are approved and obtained.
The applicant may be required to obtain proper licensing from the City, State, County, and Federal Government as deemed necessary.
- O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.
This property is in a commercial district, and as such, this section is non-applicable.
- P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.
This use complies with the performance standards of the zoning district.
- Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.
Any additional stipulations will be included in the final resolution passed by the City Council.

Comprehensive Plan

The City of Isanti 2008 Comprehensive Plan Update identifies this parcel as 'general commercial,' which is defined as:

The purpose of this category is to identify portions of Isanti that contain or should be developed for general commercial use. Examples may include highway oriented businesses such as fast food restaurants, convenience stores, gas stations and other auto-oriented businesses. Limited office and service uses are appropriate in these areas as well, depending on scale and location.

Much of this land use is located along the Highway 65 corridor and CSAH 5. General Commercial is the largest commercial land use designation. These uses are predominantly auto-oriented in terms of access and services. Design of both site and buildings are important to maintaining a

thriving commercial base. In addition, commercial businesses not located at major intersections should remain small scale, and provide services primarily to the surrounding neighborhood. Also, the architecture and site design of all commercial areas must be compatible with the surrounding neighborhood and landscape. Such issues as building size, location on the lot, building materials, screening and other design issues are important.

Public Notice

Notice of public hearing was published on January 3, 2018 in the *Isanti County News*. All property owners within 350' of the subject parcel received notice of public hearing from the Community Development Department.

Public Comment

At the time of writing this memo, no public comment for or against the project have been provided to my office.

Development and Operations Advisory Committee Comments

The Development and Operations Advisory Committee reviewed the CUP during the December 7, 2017 committee meeting. They recommended the following conditions:

- 1) Painting of the additional parking stalls (24) along the south parking lot as approved in the original development.
- 2) Signage to be applied for and reviewed by the City prior to installation.

Staff Comments

The property has already been developed. Because the proposed CUP is in an existing building that is not being expanded or physically changed, and as such does not require an as extensive review of the proposed CUP. Staff is supportive of the CUP, and recommends **APPROVAL** with the following conditions:

- 1) Painting of the additional parking stalls (24) along the south parking lot as approved in the original development.
- 2) Any applicable licensing and permits shall be obtained from the proper City, State, County, and Federal Governments as deemed necessary.
- 3) Signage to be applied for and reviewed by the City prior to installation.

RESOLUTION 2018-XXX

A RESOLUTION APPROVING THE CONDITIONAL USE PERMIT APPLICATION FOR WARREN & BRETT THUNSTROM TO OPERATE A MICROBREWERY AT 2 ENTERPRISE AVE NE SUITE A3

WHEREAS, Warren and Brett Thunstrom (applicants) have requested a Conditional Use Permit approval for the operation of a Microbrewery at 2 Enterprise Avenue NE Suite A3 in the City of Isanti (PID 16.132.0040); and,

WHEREAS, the property is located within the “B-2” General Business District and the “TH-65” Overlay District, of which requires a Conditional Use Permit to operate a Microbrewery in said zoning districts; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the proposed Conditional Use Permit on January 16, 2018; and,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that it adopts the Findings of Fact and Conclusion related to the requested Conditional Use Permit, and **BE IT FURTHER RESOLVED** that the requested Conditional Use Permit for a Microbrewery located at the property described within this resolution, be hereby approved with the following conditions:

- 1) Install (paint) an additional 24 parking stalls along the south parking lot as approved in the original development.
- 2) Obtain any applicable licensing and permits from the proper City, County, State, and Federal Governments as deemed necessary.
- 3) Obtain sign permit approval from the City prior to any signage being installed.

Dated this 6th of February, 2018.

ATTEST:

Mayor George A. Wimmer

Katie Brooks
Human Resources/ City Clerk

FINDINGS OF FACT AND CONCLUSION

Conditional Use Permit Amendment Warren & Brett Thunstrom - Microbrewery

January 16, 2018

Request

Request from Warren and Brett Thunstrom (applicants) for a Conditional Use Permit to operate a Microbrewery at the property addressed as 2 Enterprise Avenue NE Suite A3 (PID 16.132.0040) in the City of Isanti.

Findings of Fact

1. The applicants are requesting approval of a Conditional Use Permit for the property described under 'Request.'
2. The property is zoned "B-2" General Business District and included in the "TH-65" Highway 65 Overlay District.
3. The applicants submitted a Conditional Use Permit application on November 29, 2017. The received materials were deemed complete and paid on December 22, 2017.
4. A public hearing on the matter was scheduled before the City of Isanti Planning Commission on January 16, 2018 at 7:00 p.m. at City Hall within the City Council Chambers.
5. Notice of the Conditional Use Permit application was published with the *Isanti County News* on January 3, 2018. Notices were sent to all property owners located within 350 feet of the aforementioned address.
6. Section 21, Article 2: Conditional Use Permits, Subdivision 3(D) of the Zoning Ordinance establishes factors that the judgement of the Planning Commission shall be based upon when reviewing a Conditional Use Permit request as well as Section 21, Article 2: Conditional Use Permits, Subdivision 4 General Performance Standards of the Zoning Ordinance establishes additional general standards that shall be used to evaluate any proposed Conditional Use Permit request.

Conclusions

1. In review of the standards established in Section 21, Article 2, Conditional Use (D); the following conclusions have been made (*conclusions to each requirement are shown in italics*):
 - A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans. *The proposed use for the site is consistent with the goals and objectives of the comprehensive plan.*
 - B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

The proposed use meets the purpose and intent of the "B-2" & "TH-65" zoning districts

- C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.
The proposed use is in a commercial and industrial area. Staff believes that will not be detrimental or endanger the public health, safety, morals, or comfort.
 - D. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.
Staff does not believe that the proposed use will be injurious to the use and enjoyment of the other properties within the immediate vicinity.
 - E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
The conditional use will not impede the normal and orderly development and improvement of the surrounding properties. The use will be located within an existing structure.
 - F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.
Adequate public facilities and services are currently available.
 - G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.
The conditional use complies to all other regulations within the district in which it is located.
 - H. The conditional use complies with the general and specific performance standards as specified by within this Article.
The conditional use complies with the general and specific performance standards as specified within this article, as stated by this document.
2. Section 21, Article 2, Subd. 4 addresses performance standards for Conditional Use Permit. The standards and staff responses (*italicized*) are below:
- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.
Staff believes that the existing street is of sufficient capacity to accommodate the type and volume of traffic as a result of this development.
 - B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.
The proposed CUP will be in an existing building that already is designed for access and parking. All parking is met under Section 17 of this Ordinance.

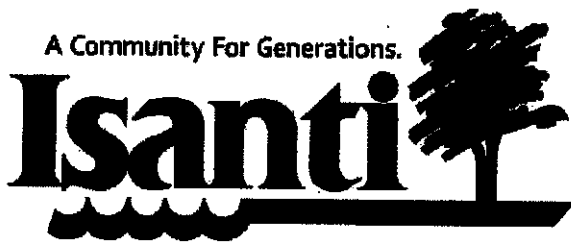
- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.
Parking for this development does not impact pedestrian circulation.
- D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.
Adequate off-street parking and off-street loading is provided in accordance with section 17 of this ordinance.
- E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.
This section is met.
- F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.
This area is surrounded by commercial and industrial uses. This section is met.
- G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.
This section is met.
- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.
Existing lighting complies with our zoning code. This section is met.
- I. The site drainage system shall be subject to the review and approval of the City Engineer.
This is an already developed site, existing stormwater management has been reviewed and approved.
- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.
The building already exists, and as such, is compliant with our zoning code.
- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.
Existing garbage facilities will be used for trash and recycling purposes.

- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.
The applicant will need to submit a sign permit for review and approval prior to any signage associated with this development being installed.
- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.
The applicant will be required to obtain all proper licensing from the City, State, County, and Federal Governments as deemed necessary.
- N. Any applicable business licenses mandated by City Code are approved and obtained.
The applicant may be required to obtain proper licensing from the City, State, County, and Federal Government as deemed necessary.
- O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.
This property is in a commercial district, and as such, this section is non-applicable.
- P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.
This use complies with the performance standards of the zoning district.
- Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.
Any additional stipulations will be included in the final resolution passed by the City Council.

Decision

The City of Isanti Planning Commission reviewed the request after a public hearing was held on January 16, 2018. The meeting minutes, staff memo, and attachments shall be made part of the Findings of Fact and Conclusion.

Planning Commission Recommendation:



Ryan J. Kernosky
Director of Community Development
City of Isanti, Minnesota
110 1st Avenue NW
PO Box 428
Isanti, MN 55040
763-444-5512
rkernosky@cityofisanti.us



January 2, 2018

RE: NOTICE OF PUBLIC HEARING

Dear Property Owner:

You are receiving this public hearing notice letter from the City of Isanti Community Development Department. Per City Ordinance, anytime a Conditional Use Permit Application is received, we are required to notify property owners within 350 feet of the subject parcel of the public hearing associated with the request.

A Conditional Use Permit Application has been submitted to the Community Development Department by Warren and Brett Thunstrom to open and operate a Microbrewery at 2 Enterprise Avenue, Suite A3 in the City of Isanti. Pursuant to Isanti Zoning Ordinance Section 11, Article 5, Subd. 4(U), a Conditional Use Permit is required to operate a Microbrewery in the TH-65 Overlay Zoning District.

Your input is valuable to the decision the City Planning Commission will make regarding this request. You are invited to give testimony in support or against the proposed Conditional Use Permit Amendment either at the meeting or through letters/email. The public hearing is scheduled for the following date and time:

**PUBLIC HEARING REGARDING CONDITIONAL USE
PERMIT FOR THE OPERATION OF A MICROBREWERY
FOR WARREN AND BRETT THUNSTROM**

**JANUARY 16, 2018 OR SHORTLY THEREAFTER
ISANTI CITY HALL COUNCIL CHAMBERS, 110 1ST AVE
NW ISANTI, MN 55040**

If you have any questions or concerns regarding this letter, please feel free to contact me by phone at (763) 444-5512 or via e-mail at rkernosky@cityofisanti.us.

Very truly yours,

A handwritten signature in black ink, appearing to read "Ryan J. Kernosky", written over a horizontal line.

Ryan J Kernosky
Community Development Director
rkernosky@cityofisanti.us
763-444-5512

Public Notice

City of Isanti
Planning Commission
Public Hearing on January 16, 2018

Notice is hereby given that on **Tuesday, January 16, 2018, at 7:00 P.M. or shortly thereafter, at the Isanti City Hall located at 110 First Avenue NW, Isanti, Minnesota;** the Planning Commission will hold a Public Hearing on the following item(s):

- 1) Request from Warren and Brett Thunstrom for a Conditional Use Permit to operate a Microbrewery at 2 Enterprise Avenue, Suite A3, Isanti, Minnesota pursuant to Section 11, Article 5, Subd. 4(U).

BY ORDER OF THE CITY OF ISANTI, MINNESOTA.



Ryan J. Kernosky
Community Development Director



CONDITIONAL USE PERMIT APPLICATION

City of Isanti
110 First Avenue NW • PO Box 428
Isanti, MN 55040
Phone: 763.444.5512 • Fax: 763.444.5560
www.cityofisanti.us

Conditional Use Permit - \$325, plus additional costs incurred.
Conditional Use Permit Amendment - \$275, plus additional costs incurred.

Applicant Name: Warren & Brett Thurstrom
Address: 25902 Vickers St NE
City: Isanti State: MN Zip: 55040
Phone: - - - Fax: - - - Cell: 763 - 406-0942 E-mail: warren.walker@icm.com

Fee Owner and Consent of Application: Isanti Mall, LLC. in care of RIC Property Management Inc.
Address: 2 Enterprise Ave, Suite D4
City: Isanti State: MN Zip: 55040
Phone: 763 - 689-0344 Fax: 763 - 552-5754 Cell: 612 - 317-2977 E-mail: office@ricproperty.com

Project/Development Name: _____

Address or General Location of the Property: 2 Enterprise Ave, Suite A3

Legal Description of Property Involved: Lot 001 of AUD SUB DIV 18
Parcel ID 161320040

Present Use of Property: Vacant

Proposed Use of Property: micro brewery

Present Zoning: 3A Present Land Use Designation: Commercial/Industrial/Public Utility

This application shall be completed in full and shall be accompanied by all information and plans required by applicable City Ordinance provisions. Before filing this application, you should contact the Community Development Department to determine the specific ordinance and procedural requirements applicable to your application. A determination of completeness will be made by City staff and a written notice of application deficiencies shall be mailed to the applicant.

This is to certify that I am making application for the described action by the City and I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name. I am the party whom the City should contact regarding any matter pertaining to this application. I have attached a copy of proof of ownership (either copy of Owner's Duplicate Certificate of Title, Abstract of Title or Purchase Agreement), or I am the authorized person to make this application and the fee owner has signed this application.

I will keep myself informed of the deadlines for submission of materials and the progress of this application. I further understand that additional fees may be charged for consulting fees, feasibility studies, etc. An estimate shall be provided prior to any authorization to proceed with the study. The documents and information I have submitted are true and correct to the best of my knowledge.

Applicant Signature: Wane C. Thurston Date: 11/28/17

Property Owner Signature: M. H. H. H. Date: 11/27/17

Application Fees
1. Non-refundable fee of \$25, plus additional costs for a Conditional Use Permit.
2. Non-refundable fee of \$175, plus additional costs for Conditional Use Permit Amendment.

Items to Accompany Application

1. Application Form
2. Application Fees
3. Items as specified within the Checklist provided, unless otherwise indicated by City Staff.
4. Proof of Ownership (either copy of Owner's Duplicate Certificate of Title, Abstract of Title or Purchase Agreement) or letter from property owner granting approval.
5. A list of all property owners within 350 feet from the property in question. Such list must be certified by the County Assessor's Office.
6. Written narrative and graphic materials fully describing and explaining the proposed change, development, or use.
7. A Certificate of Survey and complete legal description of the subject site.
8. Certification of taxes paid on the property.

Acceptance of Application

The application is subject to acceptance by the City upon review of the application and necessary materials being submitted. The application may also be subject to the acceptance by the Development Advisory Committee. City engineering approval may be required. Application materials shall meet engineering requirements set forth by the city engineer or as stated within the city code.

Date Received: 11/29/2017 Date application deemed complete: 12/4/2017

Application Fee: \$ 325.00

[Signature] City Planner Date: 12/5/2017

CONDITIONAL USE PERMIT - CHECKLIST

Submittals shall be provided in the following format with the following required information, unless specifically indicated otherwise by City Staff. Failure to submit a complete application may delay the review and approval process.

**Please Note: all site plans must be prepared by a certified architect, landscape architect, engineer, or land surveyor that is licensed in the State of Minnesota. A license stamp or registration number, together with a signature shall be provided on the face of the site plan.

CHECKLIST ITEM	DATE RECEIVED
Site Plan NA - EXISTING	N/A
Landscape Plan NA - EXISTING	N/A
Utility Plan NA - EXISTING	N/A
Photometric / Lighting Plan NA - EXISTING	N/A
Grading / Drainage Plan NA - EXISTING	N/A
Drainage Calculations NA - EXISTING	N/A
Floor Plans info	11/29/17
Signage - location, dimensions, type, and number	NOT REC'D
Wetland Delineation (if present on property) NA	N/A
County Review Letter (if near County roadways) NA	N/A
Other Supplemental Information as requested by Staff - see letters	will
Building Elevations exterior	

Application certified as complete by:

Name: [Signature]

Date: 11/21/17

Updated 2.9.2015

SUBMITTED BY APPLICANT

Explanation Concerning Application for Conditional Use Permit

It is our intention to lease existing commercial property in order to establish a micro brewery with an on-site taproom and with off-sale growlers. There is to be no food preparation. Plans call to be open Thursday thru Sunday. The property we will be leasing is already well suited for our needs. We have done a utility survey and there is sufficient gas, power, and water. The floor is poured cement and has floor drains. There is no need for us to alter the building in any significant manner. Any build-out needs such as electrical outlets, plumbing, etc. will be done by licensed contractors with all the required building permits. Our lease states that the work must be approved in advance by the landlord and conform to all state and local requirements.

The outside of the building is surrounded on 3 sides by parking spaces, amounting to more than 40 existing spaces. We do not plan to alter anything on the outside. The landscaping is good, there are no drainage issues, and all driving surfaces are paved. The building already has high intensity lighting on all 4 sides and we see no need to add more lighting. Outdoor signage is planned as 2 signs measuring 3 feet by 20 feet. One sign to be mounted on the east side of the building, and one on the south side of the building.

Initial floor plans are for the business to be one large open room of 1940 square feet. Within this space will be a separate brewing area, a small office, and a customer serving/seating area.

Checklist Items, as previously discussed with city staff

Site Plan: Not Applicable, building already exists
Landscape Plan: None
Utility Plan: None
Lighting Plan: None
Grading/Drainage Plan: None
Drainage Calculations: Not Applicable, already in place
Floor Plans: See above
Signage: See above
Wetland Delineation: Not Applicable
County Review Letter: Not Applicable
Building Elevations: Not Applicable, already in place

Properties Within 350 feet

Parcels 160930040, 160930052 - Warring Properties, P.O. Box 189, Isanti, MN 55040
Parcel 160930030 - Enterprise Avenue Properties, 1 Enterprise Ave, Isanti, MN 55040
Parcel 160930060 - Sno Bear USA, 1 Enterprise Avenue, Isanti, MN 55040
Parcel 160201100 - Critical Mass Investments, 11165 Zeland Ave N, Champlin, MN 55316
Parcels 161150030, 160930080 - City of Isanti

Parcel 160930010 - K & M Properties, 37000 Paul's Lake Circle NE, Cambridge, MN
55008

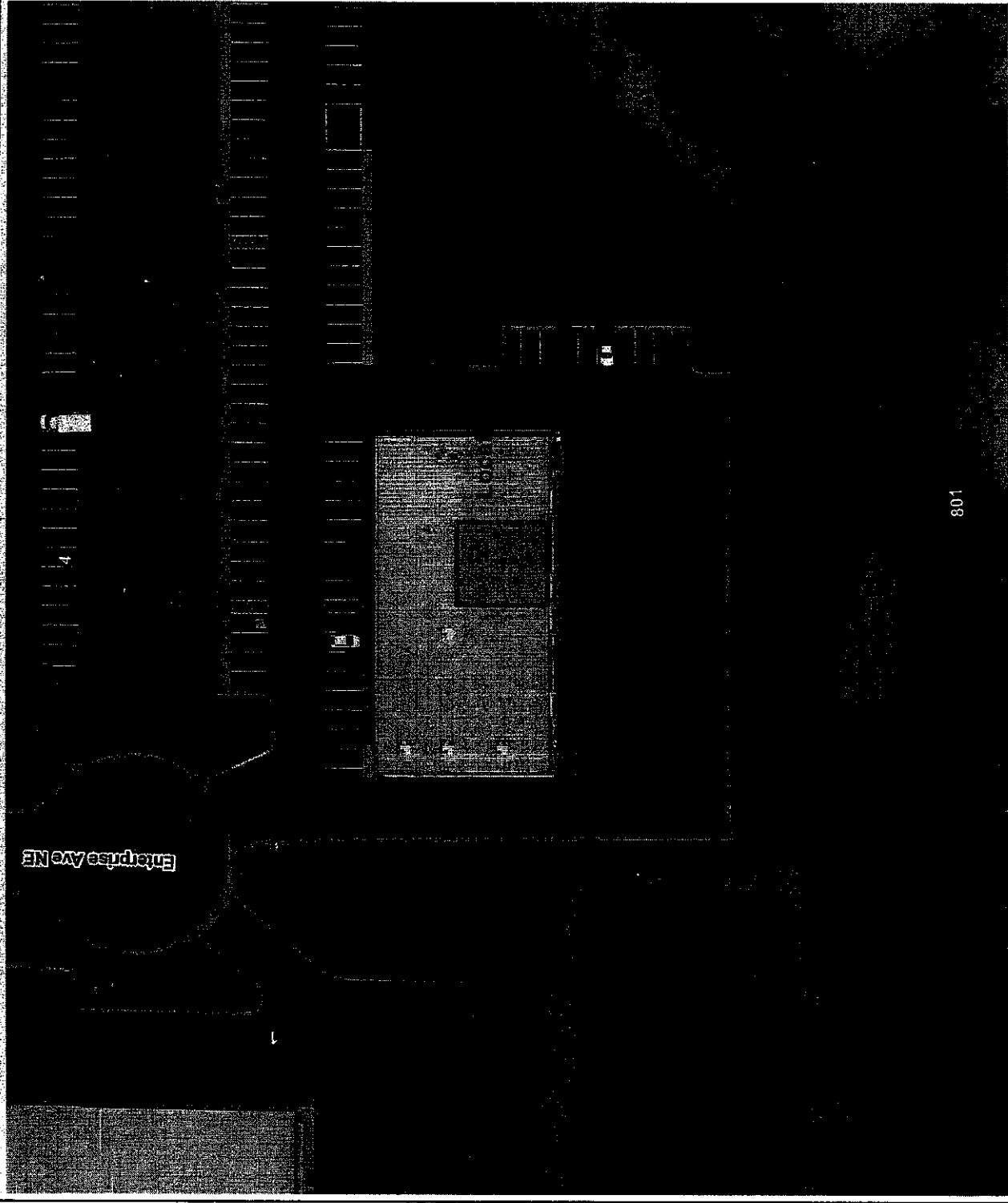
Parcels 161320010, 161320020, 161320030, 161320050 - Isanti Mall LLC, 2 Enterprise
Ave NE, Suite D4, Isanti, MN 55040



- Legend**
- City Limits
 - Non Parcel Items
 - Protected Waters - Watercoul
 - Protected Waters - Basin
 - Public Water Basin
 - Public Water Wetland

**Microbrewery
General
Location**

Disclaimer:
This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



BOLTON & MENK
Real People. Real Solutions.

0 66 Feet
© Bolton & Menk, Inc. - Web GIS 12/5/2017 10:23 AM



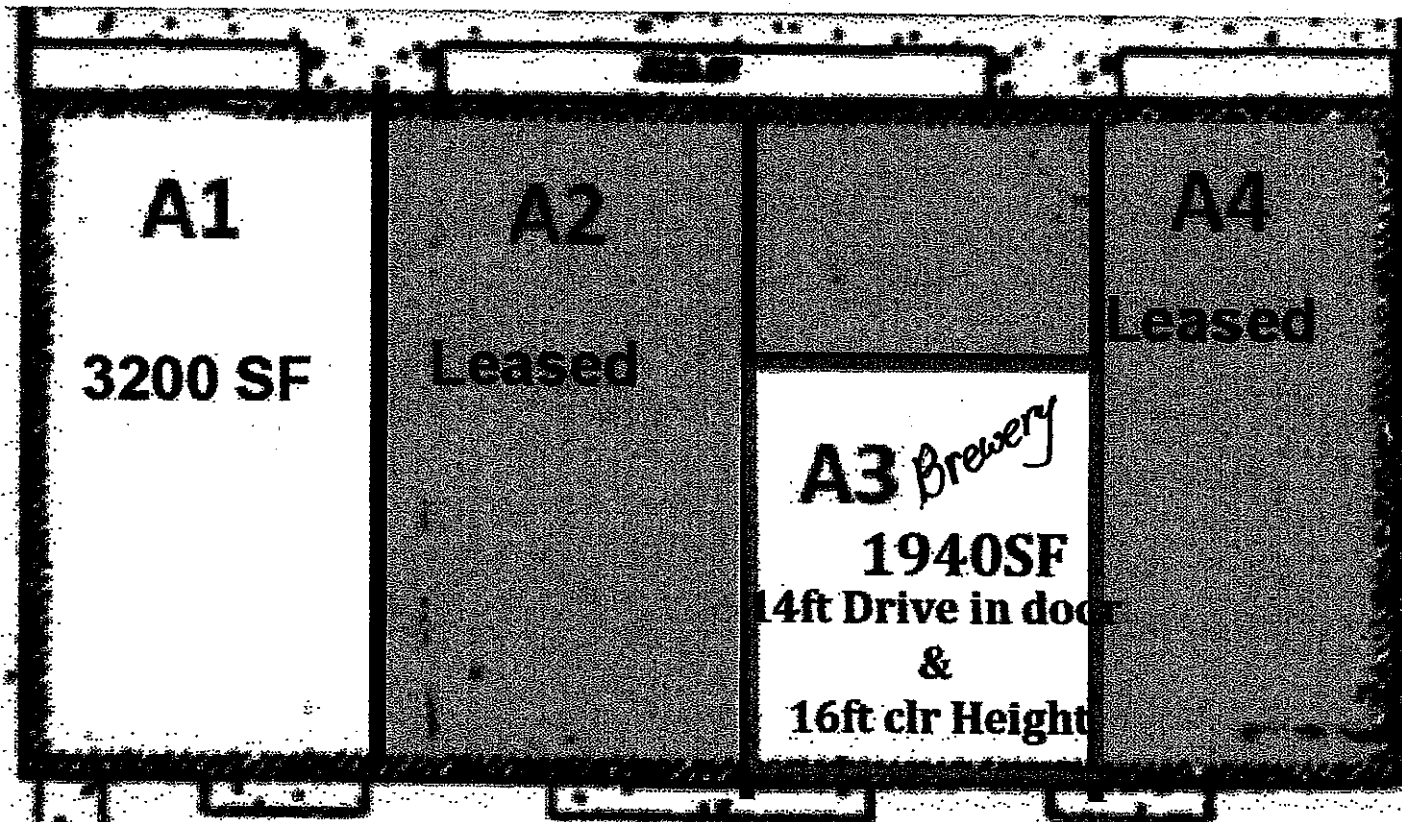
RIC Property Management, Inc.

2 Enterprise Ave NE Suite D4
Isanti, MN 55040

Phone: 763-689-0349
Fax: 763-532-5754

EXHIBIT A

Premises





Ryan J. Kernosky
Director of Community Development
City of Isanti, Minnesota
110 1st Avenue NW
PO Box 428
Isanti, MN 55040
763-444-5512
rkernosky@cityofisanti.us



December 8, 2017

Warren & Brett Thunstrom
25902 Vickers St NE
Isanti, MN 55040

RE: APPLICATION FOR CONDITIONAL USE PERMIT

Mr. Thunstrom & Mr. Thunstrom,

The City has reviewed materials you submitted to operate a Microbrewery at 2 Enterprise Avenue, Suite A3 in the City of Isanti. While the application has been deemed complete, we will need you to address the following items:

- 1) The number of seats for patrons and the number of employees on the maximum shift that will be at the business. This will assist us with the parking determination.

Furthermore, the City has identified the following potential conditions, please be advised that these may be required as part of the approval:

- 1) Installation of 24 additional parking spaces along the south parking lot, per submitted site plans when the property was developed. This will include the painting of stalls.
- 2) Signage plans will need to be submitted prior to any signage being installed.

To keep this process moving along, please review the above matters and respond via email or USPS no later than Friday, December 22, 2017. If you have any questions or concerns regarding this letter, please feel free to contact me by phone at (763) 444-5512 or via e-mail at rkernosky@cityofisanti.us.

Very truly yours,

A handwritten signature in black ink, appearing to read "Ryan J. Kernosky".

Ryan J. Kernosky
Community Development Director
rkernosky@cityofisanti.us
763-444-5512



**MEMORANDUM**

TO: Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *R*

DATE: January 16, 2018

SUBJECT: **2017 COMMUNITY DEVELOPMENT DEPARTMENT REPORT**

To the members of the Isanti Planning Commission and the general public, I am pleased to provide this brief department report for 2017. Please let me know if you have any questions.

Background

Community development is a process through which staff, residents, businesses, and organizations collaborate to improve the social, physical, and economic well-being in the City of Isanti. Department staff facilitate new development and redevelopment while enforcing codes and regulations. City Planning, Zoning & Land-Use Administration, Code Enforcement, and Building Inspections fall under the purview of the Community Development Department (CDD).

The CDD is staffed by full-time and part-time staff, all of whom are committed to the principals of community development and code enforcement. In 2017, the CDD had some staff turnover with the resignation of Roxanne Achmann as Director, and Nick Henly as the Building Official. Both individuals provided valuable input to the City, and both transitioned into different roles within other communities or counties. We thank them for their service to the City of Isanti. Since that time, Ryan Kernosky was hired as the Director and began in May, and the City entered into Interim Building Inspection Services with MNSpect, LLC, a Waconia-based Building Inspection Company, in December.

At the time of this memo, the CDD was staffed by the following individuals or companies:

Director of Community Development: Ryan Kernosky
Building Official: Scott Qualle (MNSpect, LLC)
Code Enforcement/Zoning Technician: Matt Lindholm

Planning & Zoning

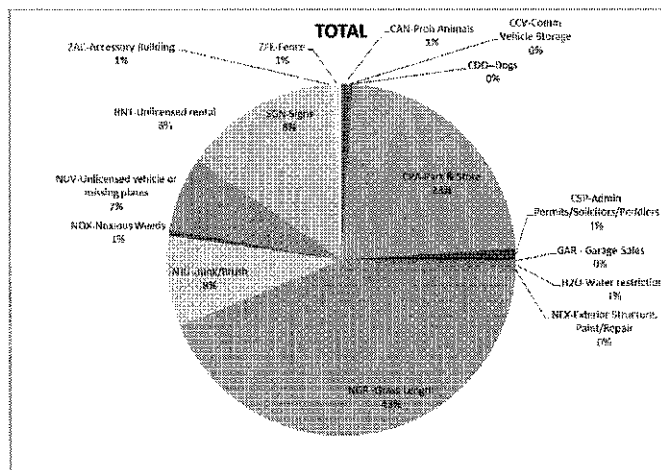
- Platting & Land Development
 - o Platting of Sun Prairie Third Addition -- 7 lots

- Platting of Fairway Greens Phase Ten – Creation of a new City Park (Academy Park)
- Platting of Arts and Science Addition – Creation of road right of way, and two lots for the construction of a new Charter Middle School.
- Platting of Isanti Hotel Addition – Creation of road right of way and one lot.
- Preliminary Platting of Kwik Trip 1019
- Conditional Use Permit issuance:
 - Whiskey Road Pub & Grub
 - Arts and Science Academy Middle School
 - Arts and Science Academy CUP Amendment – Increase number of students
 - Coborn’s CUP Amendment – Add Car Wash to Existing Site
 - Circle B Ranch & The Nest
 - Isanti Hotel Partners, LLC – Construction of a 60-unit Best Western Plus
 - Kwik Trip Inc. – Construction of a gas station, convenience store, and car wash on PID 16.040.0830 & 16.053.0010
- Other
 - Vacation of Penny Lane SE
 - Variance for Isanti Hotel Partners, LLC
 - Creation of the “RC” Recreational Commercial Zoning Code
 - Rezoning PID 05.031.3301 and 05.031.3301 from R-1 to RC

At the conclusion of 2017, the City has 145 improved and subdivided lots ready for future single-family residential development. Furthermore, the City has 107 improved and subdivided lots for multi-family residential development ready for future development.

Code Enforcement

Code Enforcement is a major part of the CDD day to day activities. Code Enforcement/Zoning Technician Lindholm had a total of 755 code violations in 2017. The majority (323 cases) included long grass, illegal parking and storage of vehicles (173), and storage of junk/brush (63). The average time to compliance in 2017 was 17.5 days. Below is a break down of the Code Enforcement Violations:



Building Inspection

Building inspection plays a major role in the safety and security of all Isanti residents and visitors. Building Official Nick Henly left the City at the end of December, and since then interim building inspection services have been handled through MNSpect, LLC. The City is still in the process of deciding how we will handle future staffing in the Building Inspection Department.

2017 was a very busy year for our Building Inspection Department. 91 new homes were constructed, 544 residential permits were pulled (fencing, siding/roofing, decks, basement finishes, mechanical, plumbing, etc.) and 51 permits were issued for Commercial properties. A breakdown of each permit is below:

Residential Category	Number of permits	
	Month	YTD
Fence	0	0
Roofing/Siding	14	88
Decks	1	25
Basement Finish	7	26
Addtns. Remodel	0	1
Garages	0	2
Miscellaneous	39	156
Single dwellings	17	91
Multi dwellings	0	0
Mechanical	23	114
Plumbing	31	132
Resid. Totals	132	635

A breakdown of commercial permits issued are below:

Commercial		
New Buildings	1	3
Addtns./Remodel	0	4
Plumbing	0	1
Mechanical	1	2
Roofing	0	1
Tenant Change/Fill	9	40
Comm. Totals	11	51

A comparison of permits issued between 2013 and 2017 are below:

Year	# permits	Single units	Multi units	Commercial
2013	297	14	0	1
2014	494	38	0	2
2015	468	41	0	0
2016	553	64	0	5
2017	686	91	0	3

2017 City Council Goals

Annexation of Properties Completely Surrounded by City Limits

As of the writing of this report, all but one property identified for annexation has been approved for annexation by the State of Minnesota. The remaining parcel will be approved by ordinance in the second Common Council meeting in January.

City Comprehensive Plan Update

Last updated in 2008, the Isanti Comprehensive Plan is primed for a 2028 update. Originally, CDD budgeted \$70,000 (\$35,000 over two years) for a consultant to put together the comprehensive plan update. That money was removed from the 2018 budget to allow a potentially new council the opportunity to provide input on this very important document.

Maintain City and Development Standards

All new development continues to be carefully considered for aesthetics, site plan design and layout, stormwater management principals, and future development considerations.

Conclusion

While 2017 was an exceptionally busy year for the Community Development Department, we still expect 2018 to be as busy in terms of single-family residential development and commercial development. We thank the City Council and the Planning Commission for their continued support of ensuring that the City of Isanti is a safe, clean, and well-developed community for all generations.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, FEBRUARY 20TH, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the January 16, 2018 Planning Commission Meeting

3. Public Hearings
 - A. Request from SAC Wireless (on Behalf of Sprint Wireless) for a Conditional Use Permit to perform upgrades on the tower located at the top of the City of Isanti Water Tower at 610 E Dual Blvd NE pursuant to Isanti Zoning Ordinance Section 8, Subd. 3(O) and Section 21, Article 2.

 - B. Request from the City of Isanti to amend Isanti Zoning Code (Sign Code) Section 16, Subd. 6 to allow for larger dynamic signs in permitted zoning districts.

5. Discussion Items.
 - A. None.

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
January 16, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:12 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley, and Jeff Miller.

Members Absent: Jim Kennedy

Staff Present: Ryan Kernosky, Community Development Director; Clark Joslin, City Attorney; Gene Hill, Police Chief

1D. Agenda Modifications.

Director Kernosky stated that there were no Agenda Modifications, the meeting proceeded with the published agenda.

2. Organization of Advisory Bodies as per the City Code of Ordinances, Chapter 8

Motion by Lundeen, second by Bergely to reappoint the existing officers as follows:

Chairman: Mayor George Wimmer
Vice-Chairman: Councilman Steve Lundeen
Secretary: Director Ryan Kernosky

Motion passed unanimously.

Motion by Lundeen, seconded by Bergely to adopt the 2018 Planning Commission Meeting Dates, motion passed unanimously.

3. Approval of Minutes from December 19, 2017 Planning Commission Meeting

Motion by Lundeen, seconded by Bergely to approve the December 19, 2017 Planning Commission Meeting Minutes, motion passed unanimously.

4 Review of Conflict of Interest Policy

City Attorney Clark Joslin provided copies of the City's conflict of interest policy, and provided a presentation on the City of Isanti's conflict of interest policy to members of the City Planning Commission.

5. Public Hearing

A. Conditional Use Permit request from Warren and Brett Thunstrom to operate a Microbrewery at 2 Enterprise Avenue NE Suite A3 (PID 16.132.0040)

Mayor Wimmer opened the Public Hearing at 7:20 p.m.

Director Kernosky provided the Commission an overview of the request from Warren & Brett Thunstrom to operate a Microbrewery at 2 Enterprise Avenue NE Suite A3. Because the subject parcel falls within the B-2 and TH-65 overly zoning districts, 'Microbrewery' is a conditional use in the aforementioned districts. Director Kernosky stated that the Conditional Use Permit is consistent with the Conditional Use Permit standards set forth within the zoning code, and is consistent with the City's Comprehensive Plan. Director Kernosky stated that staff is recommending approval with the conditions set forth in the attached Resolution.

No one spoke at the public hearing.

Mayor Wimmer closed the Public Hearing at 7:22 p.m.

Commissioner Bergely asked whether or not the applicant was able to answer any questions. Mayor Wimmer yielded the floor to Warren Thunstrom and asked him a number of questions regarding the Conditional Use Permit. Mr. Thunstrom stated he had no concerns regarding the conditions placed on the land-use permit.

Commissioner Bergely asked if a restaurant was going to be apart of this project, Mr. Thunstrom responded and stated that there were no plans to have a restaurant. Mayor Wimmer asked Mr. Thunstrom to provide the Commission with details on the differences between a microbrewery and a brewpub.

Mr. Thunstrom stated they were still working on obtaining licensing from the various jurisdictions.

Motion by Collison, seconded by Lorinser to recommend approval of the Conditional Use Permit with conditions within the Resolution. Motion passed unanimously.

6. Discussion Items.

A. 2017 Community Development Department Report

Director Kernosky provided a report on the activities within the Community Development Department in 2017. He stated that 91 new homes were constructed in 2017, and reduced our vacant lot inventory to 145 single-family lots. He continued to state that 755 code violations were cited in 2017, with the majority of those violations being for long grass and illegal parking of vehicles. Finally, he reviewed the 2017 City Council Goals, stating that the annexation project is near completion, and that the 2028 Comprehensive Plan update is getting ready for 2019/2020 budget cycle, and that the City continues to have high requirements for quality of projects.

Mayor Wimmer stated that we are still working on finding a quality candidate for the Building Official position. The City is working with MNSpect, LLC on a potential long-term contract.

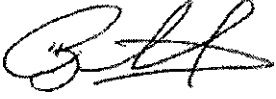
6. Adjournment

Motion by Lundeen, second by to Bergely to adjourn the January 16, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:28 p.m.

Dated at Isanti, Minnesota this 17th day of January, 2017.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'RK' with a stylized flourish underneath.

Ryan Kernosky
Community Development Director

**STAFF REPORT**

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *RK*

DATE: February 20, 2018

SUBJECT: **REQUEST FROM SAC WIRELESS (SPRINT WIRELESS) FOR A
CONDITIONAL USE PERMIT TO PERFORM UPGRADES ON THE
TOWER LOCATED AT THE TOP OF THE CITY OF ISANTI WATER
TOWER**

Background

SAC Wireless (on behalf of Sprint Wireless) has submitted an Amendment to a Conditional Use Permit to perform upgrades on the existing antennas on top of the City of Isanti Water Tower (601 E Dual Blvd NE). Because of the upgrades and replacements of antennas, it's appropriate to issue a Conditional Use Permit to reflect the updated changes.

Request

SAC Wireless is proposing to remove three antennas on the existing water tower and replace them with three new panel antennas, six new RRH's, and a new RF jumper. This will be completed by installing three new mounting posts.

Engineer Review

Bolton & Menk have provided an Engineering Review dated January 22, 2018. That review is provided in the packet.

Public Comment

At the time of writing this staff report, no public comment was received.

Conditional Use Permit Standards

The City of Isanti Zoning Code, Section 21, Article 2, Subd. 4 have the following factors to consider when reviewing a Conditional Use Permit, staff comments are *italicized*:

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided. – *This performance standard is met.*
- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance. – *This performance standard is not applicable to this conditional use permit.*

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles. – *This performance standard is not applicable to this conditional use permit.*
- D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance. – *This performance standard is not applicable to this conditional use permit.*
- E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance. – *This performance standard is not applicable to this conditional use permit.*
- F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance. – *This performance standard is not applicable to this conditional use permit.*
- G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance. – *This performance standard is not applicable to this conditional use permit.*
- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance. – *Existing lighting is on site, further, the proposed use is not increasing lighting.*
- I. The site drainage system shall be subject to the review and approval of the City Engineer. – *Existing drainage exists and is compliant with City requirements.*
- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment. – *The site is already used for antennas. No new buildings are being constructed as a result.*
- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance. – *This is met.*
- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance. – *This has been reviewed and approved by the City Engineer.*
- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City. – *This is met.*

N. Any applicable business licenses mandated by City Code are approved and obtained. – *This performance standard is not applicable to this conditional use permit.*

O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district. – *Hours of operation or access must be consistent with City hours. No non-supervised access is permitted to this site.*

P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated. – *The use is a Conditional Use within the zoning district.*

Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein. – *Additional stipulations are outlined in the Resolution.*

Staff Review

Staff recommends **APPROVAL** of the Conditional Use Permit with the following conditions:

- 1) An amendment to the Site Lease between the City of Isanti and Sprint Spectrum Realty Company, LLC is executed.
- 2) All conditions of the City Engineer's Letter dated January 22, 2018 are met.
- 3) Sprint shall provide ample notice to the City of Isanti of the construction dates and time. Coordination/inspection with/by the Public Services Department and City Engineer are required prior, during, and after construction has taken place. Costs incurred which are associated with necessary inspections shall be paid by Sprint.
- 4) Access to the location is only permitted between normal operating hours of 7:00 a.m. and 3:30 p.m., Monday through Friday, and must be coordinated through the Public Services Department.
- 5) Proper personal safety equipment, provided by Sprint Spectrum Realty Company, LLC or any subsequent successors, is utilized during any access to the site.
- 6) Sprint shall meet all the conditions as specified within the original and amended site lease agreement between the City of Isanti and Northern PCS Services, LLC.

Attachments

- Resolution 2018-XXX
- Bolton & Menk Review dated January 22, 2018
- Approved Plans

RESOLUTION 2018-XXX

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT AUTHORIZING ANTENNA REPLACEMENTS AND UPGRADES FOR SPRINT WIRELESS FOR THE TOWER LOCATED AT 601 E DUAL BLVD NE – ISANTI WATER TOWER

WHEREAS, SAC Wireless, an affiliate of Sprint Wireless, has requested to remove, replace, and add antennas on the City’s Water Tower located at 601 E Dual Blvd NE; and,

WHEREAS, Sprint Wireless intends to remove three antennas; and,

WHEREAS, Sprint Wireless intends to add three new panel antennas, six new RRH’s, a new RF jumpers, and three new mounting posts; and,

WHEREAS, the property is located at 601 East Dual Boulevard Northeast; and,

WHEREAS, the property is zoned “I-1” Industrial Park District; and,

WHEREAS, Isanti Zoning Code Section 8, Article 1, Subd. 3(O) states that Telecommunication Facilities are a Conditional Use in the “I-1” Zoning District; and,

WHEREAS, the Isanti Planning Commission held a public hearing to consider the Conditional Use Permit on February 20, 2018; and,

WHEREAS, the Isanti Planning Commission reviewed and determined that the proposed Conditional Use Permit meets the requirements set forth in the Isanti Zoning Code.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Isanti, Minnesota that the Conditional Use Permit is **APPROVED** with the following conditions:

- 1) An amendment to the Site Lease between the City of Isanti and Sprint Spectrum Realty Company, LLC is executed.
- 2) All conditions of the City Engineer’s Letter dated January 22, 2018 are met.
- 3) Sprint shall provide ample notice to the City of Isanti of the construction dates and time. Coordination/inspection with/by the Public Services Department and City Engineer are required prior, during, and after construction has taken place. Costs incurred which are associated with necessary inspections shall be paid by Sprint.
- 4) Access to the location is only permitted between normal operating hours of 7:00 a.m. and 3:30 p.m., Monday through Friday, and must be coordinated through the Public Services Department.
- 5) Proper personal safety equipment, provided by Sprint Spectrum Realty Company, LLC or any subsequent successors, is utilized during any access to the site.
- 6) Sprint shall meet all the conditions as specified within the original and amended site lease agreement between the City of Isanti and Northern PCS Services, LLC.

Adopted by the City of Isanti City Council on this ____ day of _____, 2018

ATTEST:

Mayor George A. Wimmer

Katie Brooks
City Clerk/Human Resources



**BOLTON
& MENK**

Real People. Real Solutions.

1960 Premier Drive
Mankato, MN 56001-5900

Ph: (507) 625-4171
Fax: (507) 625-4177
Bolton-Menk.com

MEMORANDUM

Date: January 22, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E.
Subject: Sprint Cellular Antenna DO MACRO Upgrade Project
Site Name: ISANTI – (Site #: MS03NP7378-A)
Site Address: 601 East Dual Blvd. – Isanti, MN 56040

BACKGROUND

Construction Documents (CDs) signed and dated January 2, 2018 (Rev. 2) were received for review. The CDs now consist of a 5 page plan set. It is our understanding that the plans still include the removal of three (3) antennas. Addition of three (3) new panel antennas, six (6) new RRH's, new RF jumpers, and three (3) new mounting posts inclusive of the necessary supplementary equipment. A Structural Analysis dated December 1, 2017 has been provided in support of the modifications.

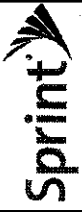
Construction Document Issue Date
January 2, 2018 (Rev. 2)

Review Completion
January 22, 2018

After our review of the January 2, 2018 (Rev. 2) CDs, the items that were missing and/or insufficient have been resolved and appear satisfactory for the Sprint DO MACRO UPGRADE Project. Progressing to the next phase, a pre-installation meeting will be necessary for all parties prior to any work being performed.

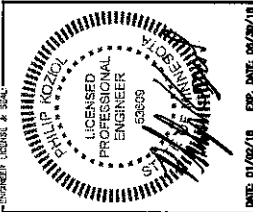
We recommend approval of the submitted documents.

Please contact me at (612) 756-1032 if you have any questions or need additional information.



SPRINT
 SITE ACQUISITION
 WIRELESS
 4100 GARDNER DRIVE
 SUITE 200
 WASHINGTON, DC 20001
 TEL: 202-737-7700
 FAX: 202-737-7700

WESTCHESTER
 SERVICES
 BARBARA J. COOPER
 1100 W. 10TH STREET
 WASHINGTON, DC 20001
 TEL: 202-737-7700
 FAX: 202-737-7700



DATE: 01/02/18 EXP. DATE: 06/29/18
 EXPIRES: 06/29/18
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REVISION	DATE	BY	CHK
1	11/19/17	BM	0
2	12/05/17	BM	1
3	01/02/18	BM	2

MS03NP737-A
 601 EAST DUAL BOULEVARD
 SMITH, MD 20684

DO MACRO UPGRADE
 COVER SHEET
 & SITE PLAN

T-2

CONSTRUCTION SPECIFICATIONS

GENERAL REQUIREMENTS:

- A. THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH SPECIFICATIONS CONTAINED IN THE BID PACKAGE PREPARED BY THE CLIENT.
- B. IN THE EVENT OF CONFLICT BETWEEN THE BID PACKAGE SPECIFICATIONS AND THESE NOTES, THE PROVISIONS OF THE CLIENT SPECIFICATIONS SHALL TAKE PRECEDENCE.
- C. THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ADMIRALY ITSELF TO DETERMINE THE EXISTING CONDITIONS AND TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- D. THE GENERAL CONTRACTOR'S RESPONSIBILITIES SHALL INCLUDE BUT NOT BE LIMITED TO ELECTRIC SERVICE, TELEPHONE SERVICE, GROUNDING SYSTEM AND COORDINATION WITH LOCAL UTILITY COMPANIES.
- E. INSTALLATION OF ANTENNA FRAMES, SUPPORTS, CHANNELS AND CLAMPS SHALL BE INSPECTED PRIOR TO INSTALLATION OF ANTENNA CABLES.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

STRUCTURAL STEEL

- A. CODES AND SPECIFICATIONS
 1. THE FABRICATION/ERECTION SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES:
 - a. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDING, 2010
 - b. AISC SPECIFICATION FOR STRUCTURAL STEEL BRACING, 2010
 - c. AISC 360-10 SPECIFICATION FOR STRUCTURAL STEEL BUILDING, 2010
 - d. AISC 360-10 SPECIFICATION FOR STRUCTURAL STEEL BRACING, 2010
 - e. AISC 360-10 SPECIFICATION FOR STRUCTURAL STEEL BUILDING, 2010
 - f. AISC 360-10 SPECIFICATION FOR STRUCTURAL STEEL BRACING, 2010
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- B. DESIGN PARAMETERS
 1. THE STRUCTURAL STEEL ANTENNA MOUNTING FRAMES ARE DESIGNED TO PROVIDE SUPPORT FOR ANTENNAS AND ALL HARDWARE AND ACCESSORIES ASSOCIATED WITH ANTENNAS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- C. FABRICATION AND INSTALLATION REQUIREMENTS
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- D. PAINTING AND FINISHING REQUIREMENTS
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

GENERAL REQUIREMENTS:

- A. FINISH COAT SHALL BE UNIFORM IN COLOR AND SHEEN WITHOUT STREAKS, LAPS, RUNS, SAGS OR MISSED AREAS.
- B. SHOP PAINTING: TAPE-OFF (2-INCH MINIMUM) SURFACES THAT WILL BE IN THE HEAT-AFFECTED-ZONE DURING FIELD WELDING.
- C. COMPONENT PAINTING:
 1. INTERIOR EXPOSED FERROUS METAL AND GALVANIZED STEEL:
 - a. PRODUCT: SHERWIN WILLIAMS MACROPOXY 646 OR TNEDEC SERIES 161
 - b. NUMBER OF COATS: 2
 - c. DRY FILM THICKNESS: 4.0-6.0 MILS (PER COAT)
 - d. COLOR: BY OWNER
 2. EXTERIOR EXPOSED FERROUS METAL AND GALVANIZED STEEL:
 - a. PRIMER: SHERWIN WILLIAMS MACROPOXY 646 OR TNEDEC SERIES 161 OR N69
 - b. NUMBER OF COATS: 1
 - c. DRY FILM THICKNESS: 4.0-6.0 MILS
 - d. COLOR: BY OWNER
 3. ANTENNA COVERS:
 - a. NUMBER OF COATS: 1
 - b. DRY FILM THICKNESS: 2.0-3.0 MILS
 - c. COLOR: BY OWNER
 4. PRIMER: SHERWIN WILLIAMS PRO-CRYL
- D. TNEDEC SERIES: 1070/70750 COATS: 1
- E. DRY FILM THICKNESS: 2.0-3.0 MILS
- F. COLOR: BY OWNER
- G. PRIMER: SHERWIN WILLIAMS PRO-CRYL
- H. NUMBER OF COATS: 1
- I. DRY FILM THICKNESS: 2.0-4.0 MILS
- J. FINISH: SHERWIN WILLIAMS SHER-CRYL HPA
- K. NUMBER OF COATS: 1
- L. DRY FILM THICKNESS: 2.5-4.0 MILS
- M. COLOR: BY OWNER
- N. PRIMER: X-1-M 11138
- O. NUMBER OF COATS: 1
- P. DRY FILM THICKNESS: 2.0-3.0 MILS
- Q. FINISH: SHERWIN WILLIAMS SHER-CRYL HPA
- R. NUMBER OF COATS: 1
- S. DRY FILM THICKNESS: 2.5-4.0 MILS
- T. COLOR: BY OWNER

REPAIR OF AREAS DAMAGED BY WELDING

- A. PREPARE THE DAMAGE BY ONE OF THE TWO FOLLOWING METHODS AS DIRECTED BY THE ENGINEER.
 1. ABRASIVE-BLAST TO SSPC-SP6.
 2. MECHANICALLY CLEAN TO SSPC-SP11.
 - B. FEATHER EDGES TO PROVIDE SMOOTH COATING TRANSITION.
 - C. APPLY PRIME COAT TO BARE METAL SURFACE.
 - D. MASK OFF RECTANGULAR AREA AROUND PRIME COAT.
 - E. APPLY FINISH COAT.
- 3.05 QUALITY CONTROL**
- A. MEASURE DRY FILM THICKNESS WITH A MAGNETIC FILM THICKNESS GAGE IN ACCORDANCE WITH SSPC-PA2.
 - B. VISUALLY INSPECT DRY FILM FOR FUNDS, SAGS, DRY SPRAY, OVERSPRAY, EMBEDDED PARTICLES AND MISSED AREAS.
 - C. REPAIR DEFECTIVE OR DAMAGED AREAS IN ACCORDANCE WITH ARTICLES 3.02 AND 3.03.

GENERAL NOTES

- A. SECTION INCLUDES PAINTING AND PAINTING REPAIR WORK ASSOCIATED WITH THE INSTALLATION OF ANTENNAS, COAXIAL CABLES, AND OTHER COMMON FACILITIES.
- B. CLEAN AND REMOVE ALL RUST, SLAG, WELD SPLATTER, WELD SPILLS, MILL SCALE, AND LOOSE PAINT.
- C. PROTECT AREAS ADJACENT TO WELDING & OR GRINDING OPERATIONS TO PREVENT DAMAGE OF SURROUNDING INTACT PAINT SYSTEM.
- D. FERROUS METAL: SSPC-SP6 COMMERCIAL BLAST CLEANING
- E. GALVANIZED STEEL: SSPC-SF7 BRUSH OFF BLAST
- F. ANTENNA COVERS, COAXIAL CABLE, NON-METALLIC SUBSTRATES AND PREVIOUSLY PAINTED SURFACES: SSPC-SF1 WITH A NON-HYDROCARBON SOLVENT.
- G. SURFACE PROFILE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRODUCT RECOMMENDATION.
- H. RE-BLAST ALL SURFACES:
 1. WHERE RUSTING HAS OCCURRED.
 2. THAT DO NOT MEET THE REQUIREMENTS OF THESE SPECIFICATIONS.
- I. APPLICATION
 - a. COATINGS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS
 - b. SURFACES TO BE COATED SHALL BE CLEAN, DRY, AND FREE OF AIRBORNE DUST AND CONTAMINANTS AT THE TIME OF APPLICATION AND WHILE FILM IS FORMING.

SCALE: N.E.S. A



PLANS PREPARED BY:
Sprint

SITE ACQUISITION:
SCS
 SITE ACQUISITION BY:
 CHARLES L. BERRY
 3116 B L B S G
 AUSTON COMPANY

PLANS PREPARED BY:
WESTCHESTER SERVICES, INC.
 605 MONROE BLVD
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 TELEPHONE: 847.277.7400
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 WES@WESTCHESTER-SERVICES.COM

SPONSOR LICENSE & SEAL:
PHILIP KOZLO
 LICENSED PROFESSIONAL ENGINEER
 63839

DATE: 01/02/18 EXP. DATE: 04/30/18
 DRAWING TITLE:
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REVISION	DESCRIPTION	DATE	BY	NO.
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PERMITS/CONSTRUCTION		12/07/17	PA	1
PERMITS/CONSTRUCTION		01/02/18	SB	2

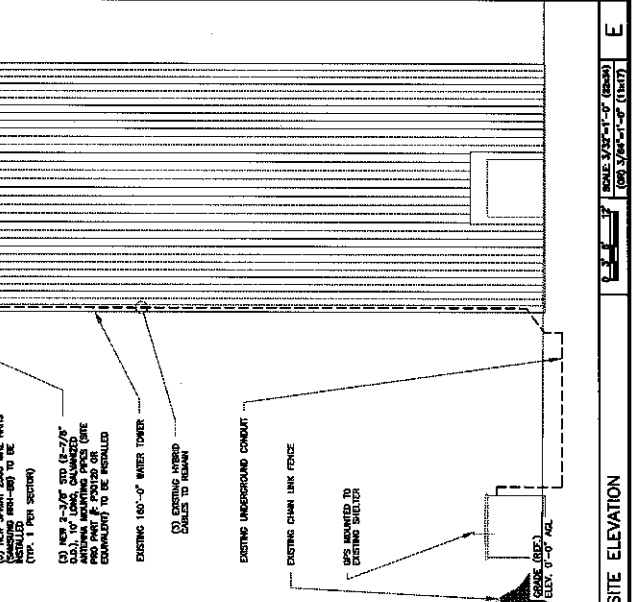
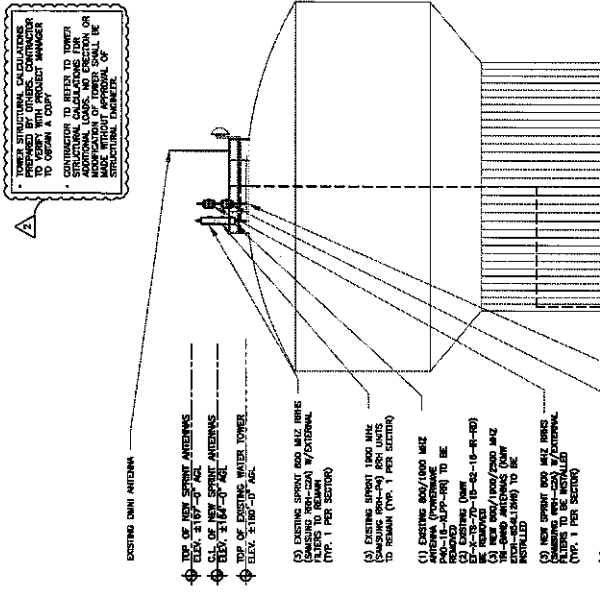
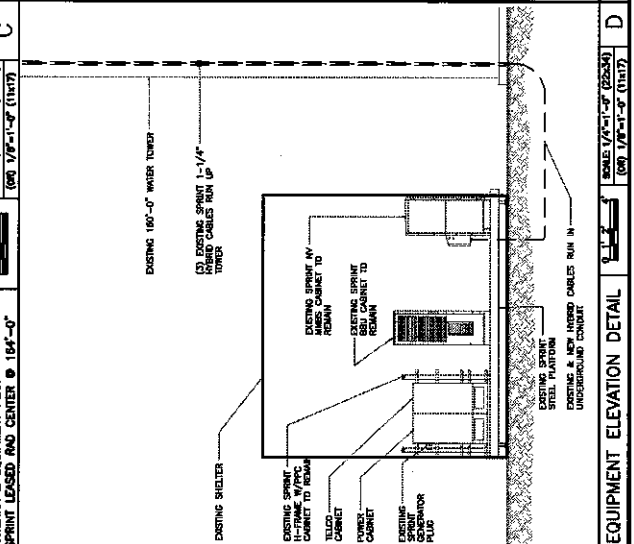
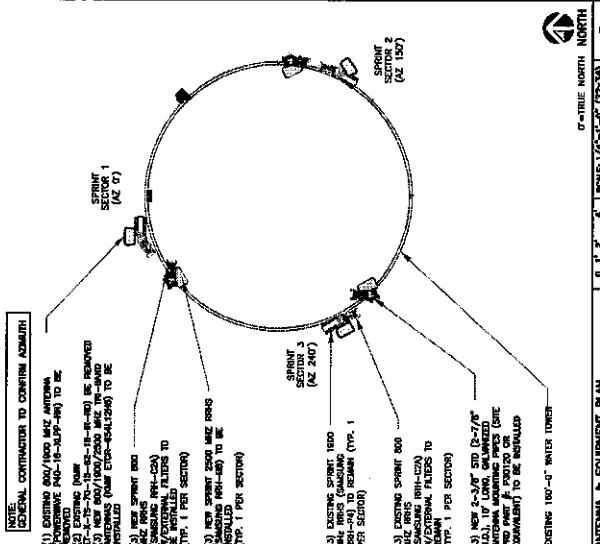
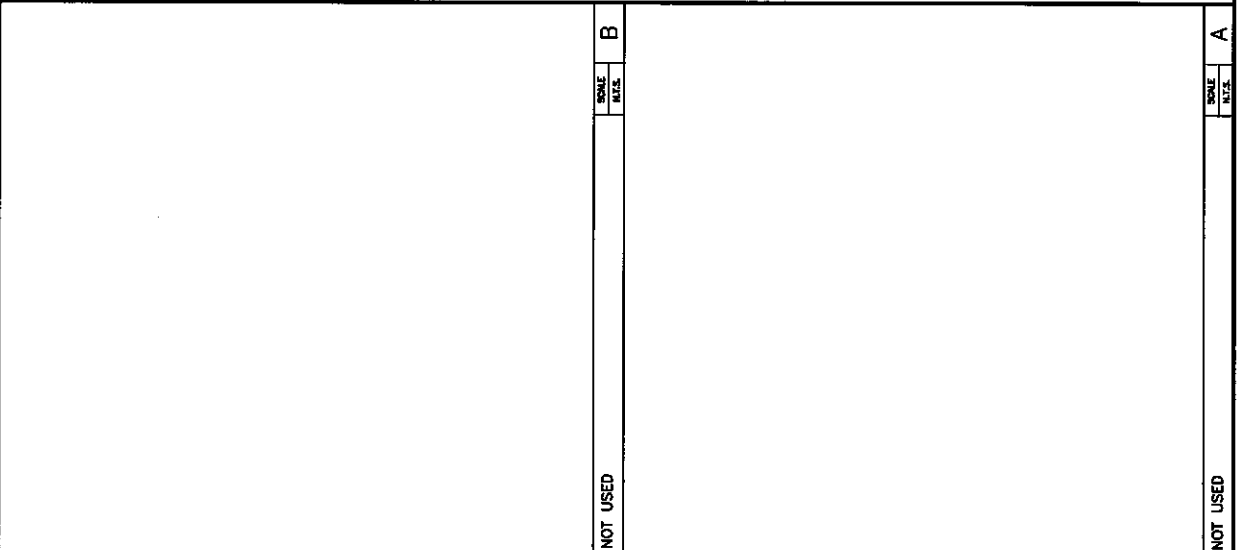
SITE ADDRESS:
MS03NP737-A

PROJECT:
**601 EAST PAUL BOULEVARD
 SANTI, MN 55040**

PROJECT DESCRIPTION:
DO MACRO UPGRADE

SHEET DESCRIPTION:
**TOWER ELEVATION &
 EQUIPMENT DETAILS**

SHEET INFORMATION:
 SHEET NUMBER:
AE-1



NOTE:
 GENERAL CONTRACTOR TO COORDINATE WITH SPRINT ENGINEER TO VERIFY ALL ANTENNA HEIGHTS, OFFSETS, AND ANGLES. SPRINT ENGINEER WILL PROVIDE ALL NECESSARY DATA AND INFORMATION TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

EXISTING 600/1800 MHz RRIS ANTENNA
 TOP OF NEW SPRINT ANTENNAS
 ELEV. 516'-0" AGL
 TOP OF EXISTING WATER TOWER
 ELEV. 516'-0" AGL

- (1) EXISTING 600/1800 MHz RRIS ANTENNAS TO REMAIN W/EXTERNAL PLATES TO REMAIN (TYP. 1 PER SECTOR)
- (2) EXISTING SPRINT 1800 MHz RRIS ANTENNAS TO REMAIN (TYP. 1 PER SECTOR)
- (3) EXISTING SPRINT 800 MHz RRIS ANTENNAS TO REMAIN (TYP. 1 PER SECTOR)
- (4) EXISTING SPRINT 2600 MHz RRIS ANTENNAS TO REMAIN (TYP. 1 PER SECTOR)
- (5) NEW 2-3/8" STD (12-7/8" O.D.), 10' LONG, GALVANNEZED PIPE PART # 120120 OR EQUIVALENT TO BE INSTALLED
- (6) NEW SPRINT 800 MHz RRIS ANTENNAS TO REMAIN (TYP. 1 PER SECTOR)
- (7) NEW SPRINT 2600 MHz RRIS ANTENNAS TO REMAIN (TYP. 1 PER SECTOR)
- (8) NEW 2-3/8" STD (12-7/8" O.D.), 10' LONG, GALVANNEZED PIPE PART # 120120 OR EQUIVALENT TO BE INSTALLED

- EXISTING 100'-0" WATER TOWER
- (1) EXISTING ANTENNA ARRAYS TO REMAIN
- EXISTING UNDERGROUND CONDUIT
- EXISTING CHAIN LINK FENCE
- GPS MOUNTED TO EXISTING SHELTER
- EXISTING 600/1800 MHz RRIS ANTENNA
- ELEV. 516'-0" AGL

PLANS PREPARED BY:
Sprint
 SITE ACQUISITION
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 17TH FLOOR
 CHICAGO, IL 60611
 312.697.6727

PLANS PREPARED BY:
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 BARRINGTON, IL 60010
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 info@westchesterservices.com

PROMISER LICENSE & SEAL
 PHILIP R. GIZIO
 LICENSED PROFESSIONAL ENGINEER
 053289

DATE: 01/02/10 EXP. DATE: 06/20/10

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NO.	DESCRIPTION	DATE	BY
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1	PERMIT/CONSTRUCTION	12/02/07	SM
2	PERMIT/CONSTRUCTION	01/02/10	SM

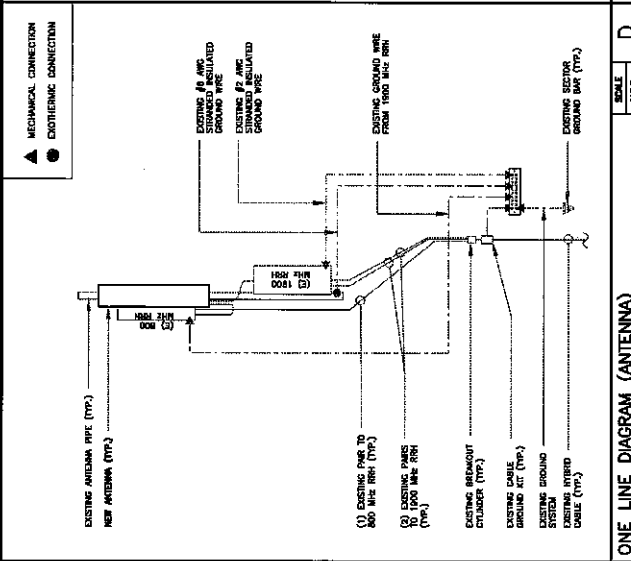
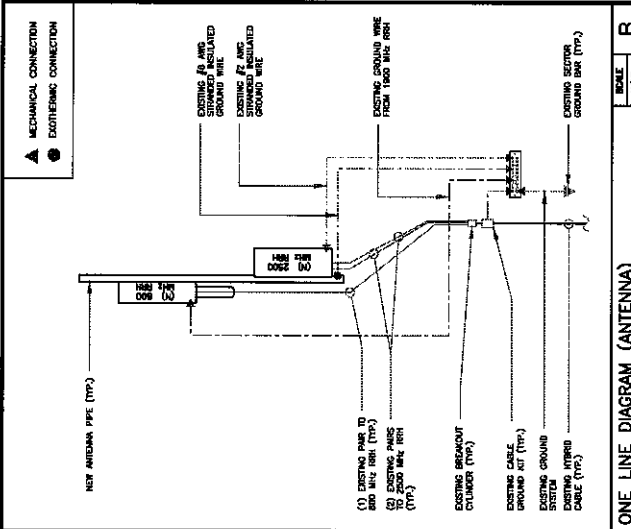
PROJECT NUMBER:
MS03NP737-A

PROJECT ADDRESS:
 601 EAST DUM BOULEVARD
 SANTI, MN 55040

PROJECT:
DO MACRO UPGRADE

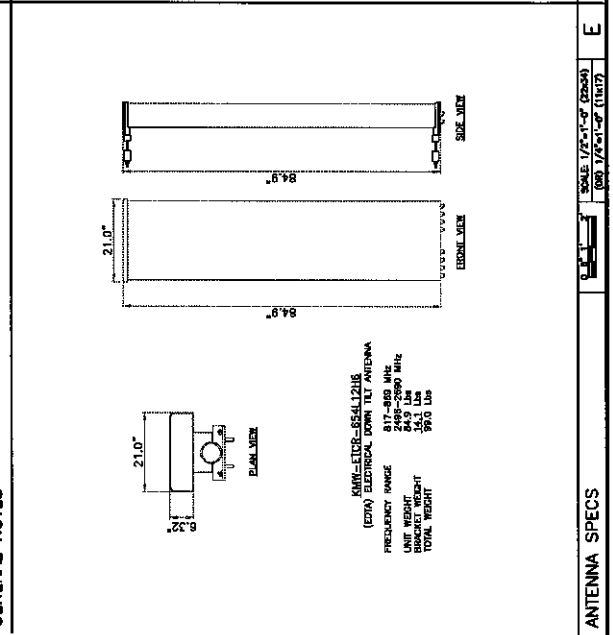
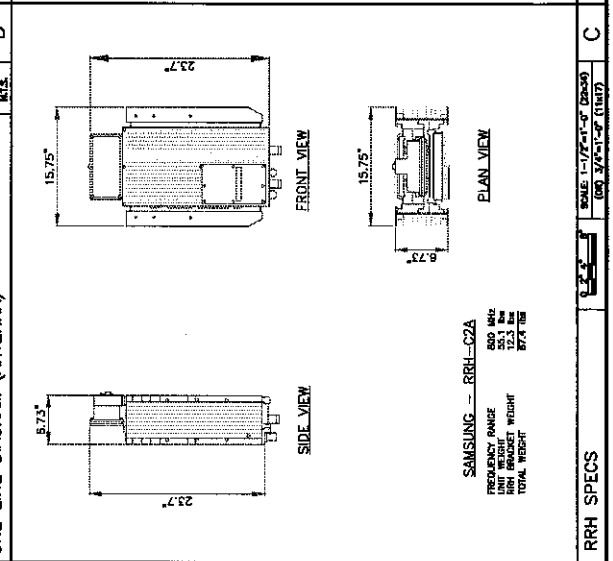
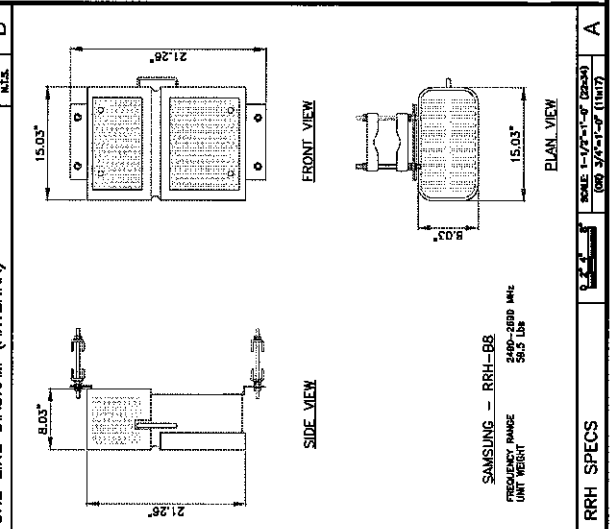
SHEET DESCRIPTION:
**INSTALLATION SPECS
 & EQUIPMENT**

PROJECT INFORMATION:
 SHEET NUMBER:
SP-1
 DRAWN BY: JMS
 CHECKED BY: JMS



GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES SET FORTH BY THE FEDERAL, STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE PROJECT. THE RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE CONTRACTOR IS A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT.
- ALL WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS, SPRINT PROJECT SPECIFICATIONS, AND THE SPRINT CONSTRUCTION CONTRACT DOCUMENTS.
- WORK IS TO BE PERFORMED FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THESE TRADES SHALL BE LICENSED OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND STATE LAW AS DEMAND IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES BEFORE COMMENCING WORK. ALL PERMITS AND APPROVALS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
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- ALL BEANS AND METHODS OF CONSTRUCTION DEALING WITH TOWER CONSTRUCTION AND SAFETY, STEEL ERECTION, ERECTING, ERECTING, SCAFFOLDING, FORMWORK, ELECTRICAL, AND WORK IN CONFINED SPACES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE THE CONTRACTOR ACTIVITIES INTERFERE OR OBSTRUCT TRAFFIC FLOW, CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, SIGNAGE, AND FLAGMEN IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, DOT AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL CONSIDER SITE ACCESS AND SECURITY WITH THE PROPERTY OWNER AND THE PROJECT MANAGER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITIES.
- THE CONTRACTOR SHALL CALL THE LOCAL PUBLIC UTILITY LOCATING PROVIDER (B1) A MINIMUM OF THREE BUSINESS DAYS BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES, UNDER PERMISSION TO SEARCH THE RECORDS OF THE LOCAL PUBLIC UTILITY LOCATING PROVIDER (B1) A MINIMUM OF THREE BUSINESS DAYS BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES, UNDER PERMISSION TO SEARCH THE RECORDS OF THE LOCAL PUBLIC UTILITY LOCATING PROVIDER (B1) A MINIMUM OF THREE BUSINESS DAYS BEFORE COMMENCING WORK.
- WHERE LOCATING IN THE AREA OF EXISTING UTILITIES, THE CONTRACTOR SHALL USE REASONABLE CARE IN IDENTIFYING EXISTING UTILITIES AND PROPOSED CONSTRUCTION. THE PROJECT MANAGER IMMEDIATELY OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION.
- DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHALL BE REPORTED TO THE PROJECT MANAGER AND THE OWNER OF THE UTILITIES IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION AND REPAIR TO BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES BEFORE COMMENCING WORK. ALL PERMITS AND APPROVALS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
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SCALE	REVISIONS	DATE	BY
SCALE 1-1/2"=1'-0" (2X)			
SCALE 3/4"=1'-0" (1X)			
SCALE 1-1/2"=1'-0" (2X)			
SCALE 3/4"=1'-0" (1X)			
SCALE 1/2"=1'-0" (2X)			
SCALE 1/8"=1'-0" (1X)			



STAFF REPORT

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *R*

DATE: February 20, 2018

SUBJECT: **REQUEST FROM THE CITY OF ISANTI TO AMEND ISANTI ZONING CODE (SIGN CODE) SECTION 16, SUBD. 6 TO ALLOW FOR LARGER DYNAMIC SIGNS IN PERMITTED ZONING DISTRICTS.**

Background

Local businesses have inquired about changing our sign code to allow for larger dynamic signage to be installed. At the direction of the Development and Operations Advisory Committee, I have put together this amendment to our sign code.

Current Ordinance

The current code allows up to 35% of the total area of the sign allowed to be dynamic. We also have several additional requirements pertaining to brightness and time of change for different messages, and, depending on the zoning district, the sign may be permitted, permitted by a conditional use, or not permitted at all.

Proposed Ordinance

After several discussions with the Development and Operations Advisory Committee, it was determined to increase the percentage of the sign from 35 percent to 80 percent if the sign has a static portion. If the Dynamic sign does not have a static portion, they are allowed to have up to 70 square feet of sign. Finally, if a parcel has a dynamic sign, the use of a temporary sign is prohibited. The actual language and changes are below:

1. ~~Dynamic displays are allowed only on free standing signs in the permitted districts. Dynamic signs may occupy not more than thirty five (35) percent of the actual copy and graphic area. The remainder of the sign must not have the capacity to have dynamic displays even if not used. Only one, contiguous dynamic display area is allowed on the sign face.~~
 - a. ~~Dynamic Signs that are used in conjunction with static signage may occupy not more than eighty (80) percent of the actual copy and graphic area of the sign.~~
 - b. ~~Dynamic Signs that re not used in conjunction with static signage may be a maximum size of seventy (70) square feet.~~

- c. Any Dynamic Signs installed shall be reviewed for aesthetics by the Development and Operations Committee.
2. The installation of any Dynamic Sign voids any use of any temporary signage on the parcel that the Dynamic Sign is installed on.

Public Comment

No public comment was received at the time of this staff report being written.

Attachments

- Ordinance No. XXX

ORDINANCE NO. XXX

AN ORDINANCE AMENDING ORDINANCE NO 445 ZONING: SECTION 16 SIGNS THE CITY OF ISANTI DOES ORDAIN:

I. AMENDMENTS

Section 16: Signs is hereby amended to remove and replace and read as follows:

Subdivision 6: Dynamic and Changeable Copy Signs

- A. **Dynamic Signs.** Any characteristics of a sign that appear to have movement or that appear to change, caused by any method other than physically removing and replacing the sign or its components, whether the apparent movement or change is in the display, the sign structure itself, or any other component of the sign. This includes display that incorporates a technology or method allowing the sign face to change the image without having to physically or mechanically replace the sign face or its components. This also includes any rotating, revolving, flashing, blinking or animated display and any display that incorporates rotating panels, LED lights manipulated through digital input, “digital ink” or any other method of technology that allows a sign face to present a series of images or displays.
1. **Findings.** Studies show that there is a correlation between dynamic displays on signs and the distraction of highway drivers. Distraction can lead to traffic accidents. Drivers can be distracted not only by a changing message, but also by knowing that the sign has a changing message. Drivers may watch a sign waiting for the next change to occur. Additionally, drivers are more distracted by special effects used to change the message, such as fade-ins and fade-outs. Time and temperature signs appear to be an exception to these concerns because the messages are short, easily absorbed, and become inaccurate without frequent changes. Despite these public safety concerns, there is merit to allowing new technologies to easily update messages. Except as prohibited by state or federal law, sign owners should have the opportunity to use these technologies with certain restrictions. The restrictions are intended to minimize potential driver distraction and to minimize proliferation in residential districts where signs can adversely impact residential character. The City finds that dynamic displays should be allowed on signs but with significant controls to minimize their proliferation and their potential threats to public safety.
 2. **Permitted sign type and locations.** Dynamic displays are solely permitted as freestanding signs and only within the “T1-B” Tier One Business District, “B-2” General Business District, “B-3” Neighborhood Business District, “RC” Recreational Commercial District, “T1-I” Tier One Industrial Park District, and “I-1” Industrial Park District.
 3. **Duration of Image.** A dynamic display image, or any portion thereof, may not change more than once every twenty (20) seconds, except one for which changes are necessary to correct hour-and-minute, date, or temperature information. A display of time, date, or temperature must remain for at least twenty (20) seconds before changing to a different display, but the time, date, or temperature information itself may change not more often than once every three (3) seconds.

4. Transition. If a dynamic display's image or any portion thereof changes, the change sequence must be instantaneous without any special effects.
5. Prohibition on Video Display. No portion of a dynamic display may change any part of its sign face by a method of display characterized by motion or pictorial imagery, or depict action or a special effect to imitate movement, or display pictorials or graphics in a progression of frames that gives the illusion of motion of any kind.
6. Prohibition of fluctuating or flashing illumination. No portion of a dynamic display image may fluctuate in light intensity or use intermittent, strobe or moving light, or light that changes in intensity in sudden transitory bursts, streams, zooms, twinkles, sparkles or any other manner that creates the illusion of movement.
7. Audio. Dynamic displays shall not be equipped with audio speakers.
8. Malfunctions. Dynamic displays must be designed and equipped to freeze the sign face in one position if a malfunction occurs. Dynamic displays must be equipped with a means to immediately discontinue the display if it malfunctions and the sign owner or operator must immediately turn off the display when notified by the City that it is not complying with the standards of this Ordinance.
9. Brightness. All dynamic displays shall meet the following brightness standards:
 - a) No dynamic display may exceed a maximum illumination of 5,000 nits (candelas per square meter) during the daylight hours and a maximum illumination of 500 nits (candelas per square meter) between dusk to dawn as measured from the sign's face at maximum brightness.
 - b) All dynamic displays having illumination by means other than natural light must be equipped with a dimmer control or other mechanism that automatically controls the sign's brightness to comply with the requirements of this Section.
 - c) No dynamic displays may be of such intensity or brilliance that it interferes with the effectiveness of an official traffic sign, device, or signal.
 - d) The owner or controller of the dynamic display must adjust the sign to meet these brightness standards in accordance with the City's instructions. The adjustment must be made immediately upon notice of non-compliance from the City.
 - e) A written certification from the sign manufacturer that light intensity has been preset to conform to the brightness levels established by code and that the preset level is protected from end user manipulation by password protected software or other method. This would offer the advantage of ensuring that electronic signs at a minimum cannot exceed the standards.
10. Dynamic displays are allowed only on free standing signs in the permitted districts. Dynamic signs may occupy not more than thirty five (35) percent of the actual copy and graphic area. The remainder of the sign must not have the capacity to have dynamic displays even if not used. Only one, contiguous dynamic display area is allowed on the sign face.

- a. Dynamic Signs that are used in conjunction with static signage may occupy not more than eighty (80) percent of the actual copy and graphic area of the sign.
 - b. Dynamic Signs that re not used in conjunction with static signage may be a maximum size of seventy (70) square feet.
 - c. Any Dynamic Signs installed shall be reviewed for aesthetics by the Development and Operations Committee.
11. The installation of any Dynamic Sign voids any use of any temporary signage on the parcel that the Dynamic Sign is installed on.

B. Changeable Copy Signs. Changeable copy signs must meet the requirements as defined for wall or freestanding signs for the district in which the sign will be located.

Approved by the City Council this _____ day of _____, 2018.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, MARCH 20, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the February 20, 2018 Planning Commission Meeting

3. Public Hearings
 - A. Request from SAC Wireless (on behalf of AT&T Wireless) to amend a Conditional Use Permit to allow the collocation of antennas on an existing telecommunications tower and the construction of an accessory structure on the property at 501 West Dual Boulevard NE (PID 160530080) legally described as Lot 1, Block 3, Dual Industrial Park except beginning at the SW corner of Outlot A, then N5.5800 along W line 426' to NW corner of Outlot A; the W 269.5850 Along N Line of Lot 1, 53'; Then S 178.5010 424.60' to POB.

 - B. Request from Jill Hoffman (dba Granny May's) for a Conditional Use Permit to operate a Restaurant at 2 Enterprise Avenue NE Suite D4 (PID 161320020) legally described as Towns Edge Business Center CIC 2010-1.

 - C. Request from Jodi DeTomaso (dba Metz Dog Grooming) for an Interim Use Permit for home occupation for dog grooming at 200 9th Ave SE (PID 161410050) legally described at Lot 5, Block 1, Sun Prairie Second Addition.

5. Discussion Items.
 - A. None.

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
February 20, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:08 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley.

Members Absent: Jim Kennedy, Jeff Miller.

Staff Present: Ryan Kernosky, Community Development Director; Gene Hill, Police Chief.

1D. Agenda Modifications.

Director Kernosky stated that there were no Agenda Modifications, Motion by Lundeen, seconded by Bergley to approve, approved unanimously.

2. Approval of the Minutes from the January 16, 2018 Planning Commission

Motion by Lundeen, seconded by Collison to approve the minutes from the January 16, 2018 Planning Commission, approved unanimously.

3A. Request from SAC Wireless (on Behalf of Sprint Wireless) for a Conditional Use Permit to perform upgrades on the tower located at the top of the City of Isanti Water Tower at 610 E Dual Blvd NE pursuant to Isanti Zoning Ordinance Section 8, Subd. 3(O) and Section 21, Article 2.

Mayor Wimmer opened the public hearing at 7:10 pm.

Joe Egge, representing SAC Wireless stated he was there to answer any questions regarding the request.

Director Kernosky stated that this was a standard request, and that the amendment to the existing agreement should be executed.

Mayor Wimmer closed the public hearing at 7:10 pm.

Motion by Lorinser, seconded by Lundeen to approve the Conditional Use Permit to perform upgrades on the tower located at the top of the City of Isanti Water Tower at 610 E Dual Blvd NE pursuant to Isanti Zoning Ordinance Section 8, Subd. 3(O) and Section 21, Article 2, with staff recommendations. Motion passed unanimously.

3B Request from the City of Isanti to amend Isanti Zoning Code (Sign Code) Section 16, Subd. 6 to allow for larger dynamic signs in permitted zoning districts.

Mayor Wimmer opened the Public Hearing at 7:10 p.m.

No one spoke at the public hearing.

Mayor Wimmer closed the Public Hearing at 7:10 p.m.

Councilman Bergely asked questions about what zoning districts these signs would be permitted in, and if any other items were taken into consideration. Mayor Wimmer responded to Councilman Bergely's questions.

Director Kernosky provided additional context and information of the sign code. Discussion about timing and display brightness was discussed.

Motion by Bergely, seconded by Lundeen to recommend approval of the proposed ordinance. Motion passed unanimously.

4. Discussion Items

There were no items for discussion.

5. Adjournment

Motion by Lundeen, second by to Bergely to adjourn the February 20, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:14 p.m.

Dated at Isanti, Minnesota this 26th day of February, 2017.

Respectfully submitted,



Ryan Kernosky
Community Development Director



3.a.

MEMORANDUM

TO: Members of the Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *R*

DATE: March 20, 2018

SUBJECT: **PUBLIC HEARING – REQUEST FROM SAC WIRELESS (ON BEHALF OF AT&T WIRELESS) FOR AN AMENDED CONDITIONAL USE PERMIT AND SITE PLAN APPROVAL**

Background

The City has received an application from SAC Wireless (on behalf of AT&T Wireless) to construct additional telecommunication antennas on the existing tower at 501 W Duel Boulevard NE. In 2002, the City issued a Conditional Use Permit for construction of the existing tower and placement of telecommunication antennas on the approved tower. T-Mobile and Verizon currently utilize the tower for their telecommunication antennas.

AT&T applied for and was granted a Conditional Use Permit Amendment in 2014 – however, they never acted upon the CUP and thus it became expired. AT&T is now reapplying for a Conditional Use Permit to collocate on the structure at 501 W. Dual Blvd.

AT&T is proposing to install antennas at 170' on the existing 185' tower at this location, and is proposing to build a self-contained pre-fabricated equipment shelter at the base of the tower within the existing fenced area.

Staff Comments

Staff believes that this proposal meets all requirements within City code and the Comprehensive Plan. Bolton & Menk has reviewed the request and recommends approval with the condition that a non-interference report is submitted.

Development and Operations Committee Comments

DOAC met on Thursday February 22nd, 2018 and provided the following comments:

- 1) The petitioner shall meet the conditions of the original approvals as stipulated within the City Council meeting minutes from April 16, 2002.

- 2) All requirements placed on by the City Engineer are met.
- 3) All applicable permits are applied for and granted.

Public Comment

No public comments have been received regarding the proposed amendment to the conditional use permit prior to the release of this staff memo.

Staff Recommendation

Staff recommends **APPROVAL** with the conditions stipulated by DOAC.

Supporting Information

Public Notice

Notice of the Amendment to the Conditional Use Permit was published in the official City newspaper, *Isanti County News*; on Wednesday, March 7th, 2018. Mailed notice was provided to property owners within 350' of the subject property.

Zoning Ordinance Requirements

The "I-1" Industrial Park District is established, in an effort to expand upon employment opportunities within the community. The purpose of the Industrial Park District is to group industrial uses in locations that have adequate and convenient access to major streets, highways and the railroad line. While the City is predominately residential in character, industrial uses are an important part of the City's land use pattern. Regulations encourage the development of industrial uses that are compatible with surrounding and abutting land uses. In order to accomplish this compatibility, development within the district is intended for administrative, wholesaling, manufacturing, warehousing, office, and related uses which can maintain high standards of appearance, through building design, site design, and landscaping / screening, and not require a high level of public services. With proper control, these areas should be compatible with commercial or residential areas. The use proposed for placement of antennas, related equipment and an accessory structure for cellular telecommunications is allowed as a conditional use in the I-1 Industrial Park District.

The Planning Commission shall conduct a public hearing, and report its findings and make recommendations to the City Council. The Planning Commission shall consider possible adverse effects of the proposed amendment. The judgment of the Planning Commission with regard to the application shall be based upon, but is not limited to, the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans.
2. The proposed action meets the purpose and intent of this Ordinance or in the case of a map amendment; it meets the purpose and intent of the individual district.
3. There is adequate infrastructure available to service the proposed action.
4. There is an adequate buffer or transition provided between potentially incompatible districts.

Comprehensive Plan

The Industrial Land Use category “provides for areas in the community for industrial related businesses including manufacturing, warehousing, automotive, trucking, office and other related industrial uses. This designation is primarily located on the north portion of the community between the railroad and Highway 65. These uses are not as compatible with residential as well as some commercial uses. In locations where the use may be located near residential and/or more sensitive commercial uses, screening and berming should be used to reduce its impact”. The placement of antenna, related equipment and an accessory structure on an existing telecommunications tower as a Conditional Use is compatible with the Comprehensive Plan.

Deadline for City Council Action

The City of Isanti received a complete application for this request on February 27, 2018. Pursuant to Minnesota State Statute, the City must act on this request by April 23, 2018 (60-days); unless an extension of the review period has been agreed to by the applicant.

Attachments

- Resolution 2018-XXX
- Findings of Fact and Conclusion
- Letter from Applicant – Project Narrative
- Location and Site Plans
- Excerpt from City Council Minutes – April 16, 2002




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MEMORANDUM

Date: February 20, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E. 
Subject: AT&T Antenna Review
City of Isanti, MN

We have reviewed the site plan submittal for the proposed AT&T Antenna installation created by SAC Wireless with a signature date of November 17, 2017.

The site plan includes a proposed antenna on an existing antenna tower located at 501 West Dual Boulevard NE.

We have reviewed the submitted plan set and have the following comments:

1. Submit a Proof of Non-Interference with other providers in the area.

We recommend the Council approve the site plans as submitted once the above item is submitted.

Please contact me if you have any questions.

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING AN AMENDMENT TO A CONDITIONAL USE PERMIT TO ALLOW THE PLACEMENT OF ANTENNAS ON A TELECOMMUNICATIONS TOWER AND AN ACCESSORY STRUCTURE ON THE PROPERTY AT 501 WEST DUAL BOULEVARD NE

WHEREAS, the property at 501 W Dual Blvd NE received Conditional Use Permit Approval for the construction of a telecommunication tower on the property as shown in the City Council Meeting Minutes from April 16, 2002; and,

WHEREAS, an amendment to the Conditional Use Permit was approved by the Isanti City Council on March 18th, 2014 through Resolution 2014-044; and,

WHEREAS, the applicant failed to execute the amended Conditional Use Permit within the time permitted under Section 21, Article 2, Subdivision 7; and,

WHEREAS, the property is legally described as Lot 1, Block 3 Dual Industrial Park (w/exceptions), Isanti County, Minnesota. Subject to any easements, restrictions, or reservations of record, if any; and,

WHEREAS, AT&T ('the applicant') has submitted a complete application to Amend the Conditional Use Permit to allow for placement of antennas, related equipment and an accessory structure at 501 West Dual Boulevard NE; and,

WHEREAS, the property is zoned "I-1" Industrial Park District. In which, the proposed use is considered a conditional use; and,

WHEREAS, Ordinance No. 445 Zoning, Section 21, Article 2, Subdivision 5 states that modifications meeting specific requirements must be reviewed through a public hearing process before the Planning Commission and Final Review by the City Council; and,

WHEREAS, the Planning Commission held a public hearing and reviewed the Amendment to the Conditional Use Permit on Tuesday March 20, 2018.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that the request by AT&T Wireless for placement of antennas, related equipment and an accessory structure at 501 West Dual Boulevard NE is hereby approved with the following conditions:

- 1) The petitioner shall meet the conditions of the original approvals as stipulated within the City Council meeting minutes from April 16, 2002.
- 2) All requirements placed on by the City Engineer are met.
- 3) All applicable permits are applied for and granted.

Adopted by the Isanti City Council on this 3rd day of April, 2018.

ATTEST:

Mayor George A. Wimmer

Katie Brooks
City Clerk/ Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from AT&T for an Amendment to the Conditional Use Permit for 501 West Dual Boulevard NE for placement of Antennas on a Telecommunication Tower and Accessory Structure.

Findings of Fact

1. The applicant, AT&T, had made application for an amendment to an existing conditional use permit to allow for placement of antennas, related equipment and an accessory structure at 501 West Dual Boulevard NE.
2. The City Council granted approval of a conditional use permit on April 16, 2002, for placement of a telecommunications tower on the site with conditions.
3. The City Council granted approval of an amendment to the conditional use permit on March 25, 2014 for placement of a telecommunications tower on the site with conditions.
4. The applicant failed to act on the amended conditional use permit, and thus nullified the approved amended conditional use permit.
5. The property is legally described as Lot 1, Block 3 Dual Industrial Park (w/exceptions), Isanti County, Minnesota. Subject to any easements, restrictions, or reservations of record, if any.
6. The property is zoned "I-1" Industrial Park District. In which, the proposed use is considered a conditional use.
7. Prior to the amendment of a conditional use on any property, the property owner must receive approval and must meet any requirements as stipulated by the zoning ordinance for that particular use.
8. A complete application was received on February 27th, 2018 and a public hearing date before the Planning Commission was scheduled for Tuesday, March 20th, 2018.
9. Notice of the Conditional Use Permit request was published within the Isanti County News on Wednesday, March 7th, 2018. Notices were sent to all property owners located within 350 feet of the subject property.

Conclusions

In review of the standards established for Telecommunication and Antenna Towers in Section 13, Subdivision 17, the following conclusions have been made on applicable areas (*conclusions to each requirement are shown in underlined italics*):

1. Maximize the use of existing and proposed towers and buildings to accommodate new wireless telecommunication antennas in order to reduce the number of towers needed to serve the community. This includes co-locating of telecommunication carriers.
The proposal will co-locate Verizon antennas and equipment with the existing antennas and equipment of another carrier, furthering the goal for co-location.
2. The City will allow telecommunication towers and antennas on City Land, areas zoned Industrial, Highway Commercial, and General Commercial with a Conditional Use Permit and Site Plan. Towers in these districts shall be allowed in back and side yards only.
The proposal meets these requirements.
3. Antennas and towers must blend in with the surrounding environment, including locating antennas on roofs of buildings, on walls of buildings, or on City property
The proposal meets these requirements.
4. Existing on-site vegetation shall be preserved to the maximum extent possible.
The proposal minimizes use of ground space to only essential equipment.

Decision

The Planning Commission held a public hearing on the item at the **March 20th, 2018** meeting. The meeting minutes, staff memo and attachments will be made part of the Findings of Facts and Conclusions.

Conditions

- 1) The petitioner shall meet the conditions of the original approvals as stipulated within the City Council meeting minutes from April 16, 2002.
- 2) All requirements placed on by the City Engineer are met.
- 3) All applicable permits are applied for and granted.

AT&T Co-location 501 W. Dual Blvd, Isanti, MN

NARRATIVE OVERVIEW

Back in early 2014, AT&T Mobility ("AT&T") applied for the necessary approvals to co-locate on the existing self-support lattice tower at 501 W. Dual Blvd, Isanti (the "Property"). AT&T and its affiliates have acquired licenses from the Federal Communications Commission ("FCC") to provide Wireless Telecommunication services throughout the United States. These licenses include Isanti, Minnesota. Around March of 2014, the City approved AT&T's CUP. However, shortly after the 2014 approval, AT&T deferred the construction and the CUP expired. AT&T Mobility is now re-applying to collocate on this very same structure.

The technical criteria for establishing these sites are very exacting as to both the height and location. Based on a computerized engineering study which takes into account the location of other sites, AT&T's engineers have identified the need for a site in this area. The site at 501 W. Dual is within the geographic area in which a facility must be located in order for it to function as an integral part of the network.

Pursuant to the City of Isanti Zoning Code, AT&T is requesting the necessary approvals install its antennas at 170' on the existing 185' self-supporting lattice tower. The necessary support equipment will be housed in a self-contained pre-fabricated equipment shelter at the base of the tower within the existing fenced compound.

The proposed facility will not be staffed, and, upon completion, will require only infrequent site visits (approximately one time a month). Access will be provided to the existing entry ways to the property at 501 W. Dual. Hence the facility will not have any material impact on either traffic or storm water control. The site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to equipment malfunction or breach of security. Moreover, no nuisances will be generated by the proposed system.

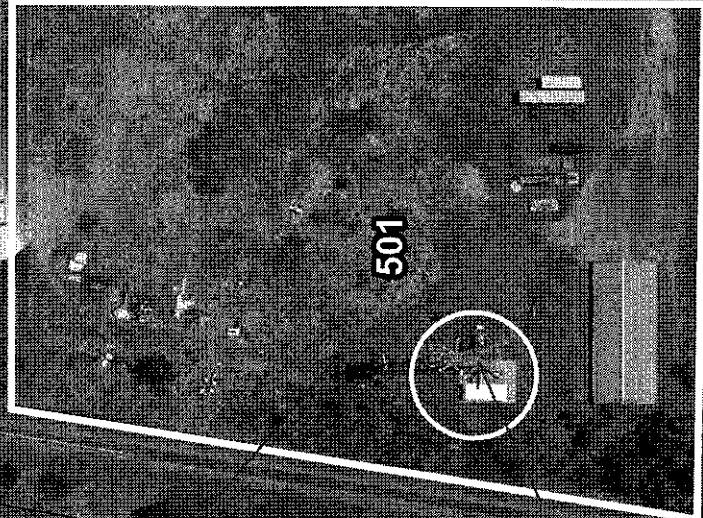
The proposed facility will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, AT&T will comply with all FCC and FAA rules regarding construction requirements and technical standards. Any and all RF emissions are subject to the exclusive jurisdiction of the FCC

ISANTI
CIVIC
ARENA

00

WATER
TOWER

601



501

520

Subject Property

512

Tower Location

442

459

W Dual Blvd NE

441

230

N Dual Blvd NE

221

243



Legend

- City Limits
- Parcels (3-10-2017)
- Non Parcel Items
- Protected Waters - Watercoul
- Protected Waters - Basin
- Public Water Basin
- Public Water Wetland

Map Name



Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



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GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR / CA - SAC WIRELESS
 SUB-CONTRACTOR - PER TRADE
 OWNER - AT&T WIRELESS
2. THE SCOPE OF THIS PROJECT SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
3. DRAWINGS SHOWN HERE ARE NOT TO BE SCALED AND ARE INTENDED TO DEPICT THE DESIGN INTENT OF THE INSTALLATION.
4. ANY MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUB-CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND PERMITS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES REGARDING THE PERFORMANCE OF THE WORK.
5. THE SUB-CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
6. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUB-CONTRACTOR SHALL SUBMIT AN ALTERNATIVE INSTALLATION DEVICE FOR APPROVAL BY THE CONTRACTOR.
7. CONTRACTOR / SUB-CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.
8. SUB-CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING BUREL TO PROCEEDING WITH CONSTRUCTION. EXCAVATION CONTRACTOR SHALL REPAIR ANY UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION AND COORDINATE ANY REPAIRS WITH UTILITY COMPANY.
9. N/A
10. N/A
11. SUB-CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL EXHAUST MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.

SITE WORK:

EARTHWORK AND DRAINAGE:

1. WORK INCLUDED: SEE SITE PLAN.
2. DESCRIPTIONS:

ACCESS DRIVE W/ TURNAROUND AREA LEASE AREA AND IF APPLICABLE UNDERGROUND UTILITY ELEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINAGE, EASY MAINTENANCE PERSONNEL ACCESS.

3. QUALITY ASSURANCE:

- A. APPLY SOIL STABILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
- B. MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED) AND MAINWAY VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
- C. SOULVER
- D. CONFIRM SIGNET STAKES AND SET ELEVATIONS; STAKES PRIOR TO ANY CONSTRUCTION.
- E. COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND UNDERGROUND UTILITY ELEMENTS, IF APPLICABLE, AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION.
- F. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
- G. BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
- H. APPLY SOIL STABILIZER PRIOR TO PLACING BASE MATERIALS (INCLUDING UNDERGROUND UTILITY EASMENTS) IMMEDIATELY AFTER EASING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION. WATER TO BE APPLIED TO THE TEMPORARY CONSTRUCTION ZONE TO AN AUTORIZED AREA AS REQUIRED BY THE PROJECT MANAGER.
- I. AFTER APPLICATIONS OF FERTILIZER SURFACES, APPLY SOIL STABILIZER TO STONE SURFACES.

MATERIALS:

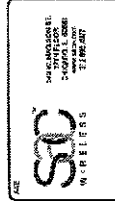
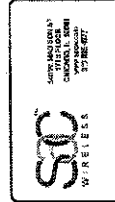
1. MATERIALS SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID TOTAL KILL PRODUCT 910 EPA #0292-7
 PRASAR CORPORATION P.O. BOX 5123 DEARBORN, MI 48128 (313) 563-8800
 AMESOR HERBICIDE EPA REGISTERED
 INDUSTRIAL PRODUCTS 433 MORRIS AVE. UNION, NJ 07083 (609) 526-4824
2. ROAD AND SITE MATERIALS SHALL CONFORM TO 100% SPECIFICATIONS FULL BATCH, UNLESS OTHERWISE NOTED. ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.
3. SOIL STABILIZER FABRIC SHALL BE MESH # 500X.

INSTALLATION:

1. INSPECTIONS
 LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.
2. PREPARATION
 A. CLEAR TREES, BRUSH, AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURNAROUND AND OTHER UTILITY EASMENTS AS REQUIRED FOR CONSTRUCTION. MATERIALS TO BE REMOVED SHALL BE PLACED IN A CONTAINER OR BAGGED AND DISPOSED IN A MANNER AS SPECIFIED BY LOCAL JURISDICTION.
 C. UNLESS OTHERWISE INDICATED BY A PLAN, TRANSPORT ALL REMOVED TREES, BRUSH, AND DEBRIS FROM THE PROPERTY TO AN AUTO-DRIED LANDFILL.
 D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL TO BE PLACED TO BE FIRM AND FREE OF ROOTS AND OTHER OBSTRUCTIONS. FILL WITH STABILIZER MAY PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
3. INSTALLATION
 A. GRADE ON FILL THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPILLS, CONSTRUCTION WITH STABILIZER BASE COURSE ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK FINISHED GRADES OR INDICATED SLOPES.
 E. CLEAR EXCESS SPILLS, IF ANY, FROM JOB SITE AND ROADWAY SPREAD MATERIALS AND RETURN TO AUTO-DRYLANDFILL.
 G. BRING THE ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
 H. AND OTHER ITEMS SPECIFIED WHERE WATER MAY FLOW OR BE STORED, UNLESS OTHERWISE INDICATED.
 I. AFTER IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO BECOME AN OPENING WATER AND SMOOTH THE SURFACE BEFORE PLACING PAVING MATERIAL.
 K. PLACE FILL OR STONE IN SIX (6) INCH LAYERS WITH LIFTS, AND COMPACT BEFORE PAVING NEXT LIFT.
 L. THE TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL BE PROTECTED BY A FENCE TO THE SIDE OF THE AREA.
 M. AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.
 N. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE SPECIFIED, SO THAT THEY DO NOT ERODE. FERTILIZER SHALL BE PLACED IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. FERTILIZER OR ELEVATIONS ARE IN CONFLICT WITH THIS ASHBE CONSTRUCTION MANAGER AGREEMENT, X. FERTILIZER SHALL BE APPLIED TO ALL DISTURBED AREAS, DITCHES, AND SWALES IN AN AREA NO GREATER THAN 60 DEGREES OF THE DITCH LINE. BEFORE THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CURB OR ELEVATION TO SURFACE. CONDITIONS WHICH WILL CAUSE EROSION SHALL BE IMMEDIATELY REPAIRED TO THE ORIGINAL SURFACE AND ENCOURAGE ROOTING. RAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
 P. SOIL SEED IN TWO DIRECTIONS IN FORCE THE GRAVITY RECOMMENDED BY THE SEED PRODUCER.

SITE PREPARATION:

1. SUB-CONTRACTOR'S SOLE RESPONSIBILITY IS TO PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND MONUMENTS.
2. PROTECTION OF EXISTING TREES, VEGETATION, AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES, CLEARING, AND GRUBBING OF STAMPS, VEGETATION, TREES, REPAIRS, RESTORATION, AND SITE IMPROVEMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND MONUMENTS.
4. SUB-CONTRACTOR'S QUALITY ASSURANCE
 A. SUB-CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR CONTINUITY OF SERVICE AND CONTROL OF FIBER ON SITE. ANY DAMAGE TO FIBER OR OTHER SERVICES WILL BE CORRECTED BY THE SUB-CONTRACTOR WITHIN 24 HOURS OF THE OCCURRENCE.
 B. SUB-CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAY OR FLOW ANYWHERE ON STRUCTURES OR WORK ON SITE CAUSED BY INDIVIDUALS OR EQUIPMENT ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE THE SUB-CONTRACTOR'S RESPONSIBILITY.



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 ISANTI
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 ISANTI, MN 55040

REV	DATE	DESCRIPTION
1	11/27/17	FOR CONSTRUCTION
2	11/29/17	FOR CONSTRUCTION
3	01/28/17	ISSUED FOR REVIEW
4	01/18/17	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION UNLESS SIGNED AS SUCH BY THE CONTRACTOR (SEE)

THIS IS A PRELIMINARY DRAWING. THE FINAL DESIGN SHALL BE PROVIDED BY THE PROJECT MANAGER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES REGARDING THE PERFORMANCE OF THE WORK.

DATE: 11/27/17
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 17000000000000000000

SP1

NOTES & SPECIFICATIONS

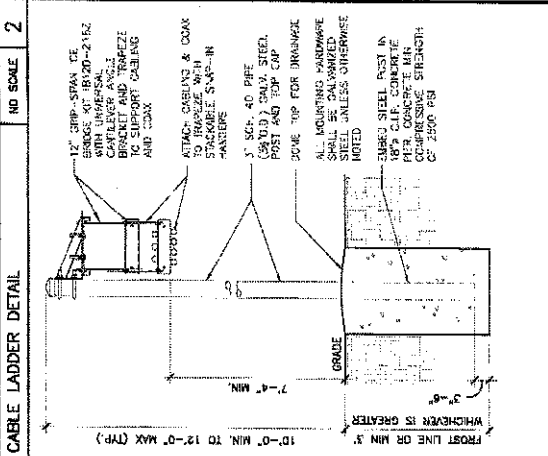
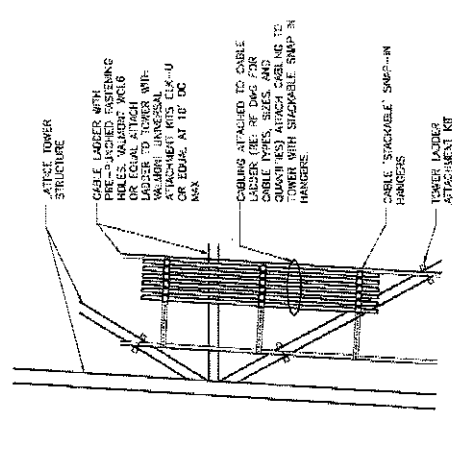
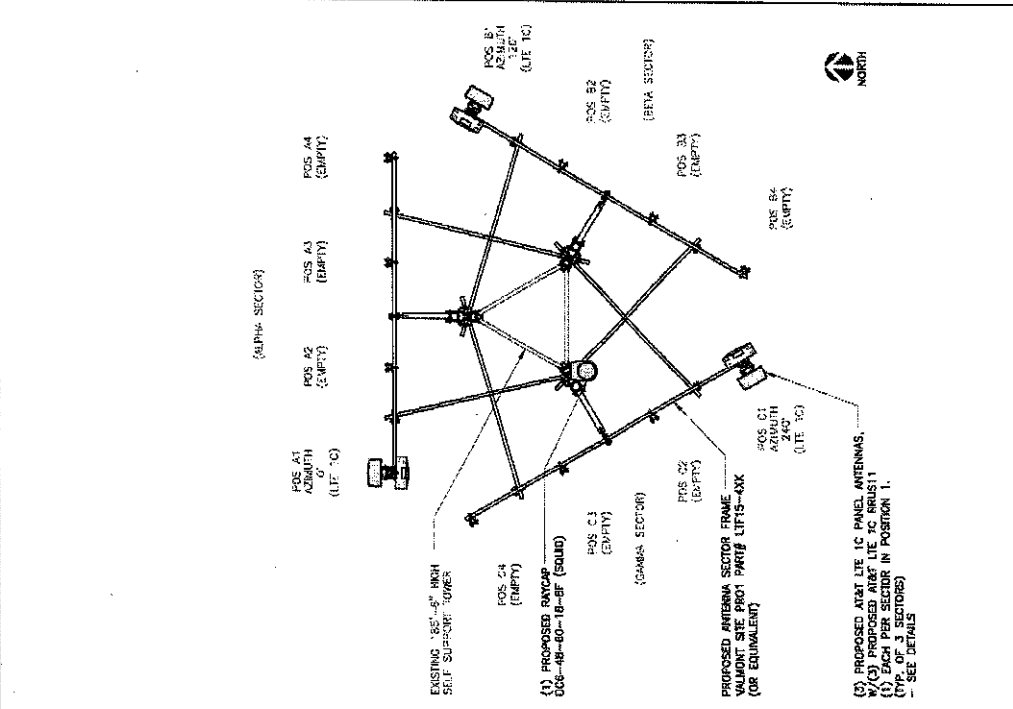
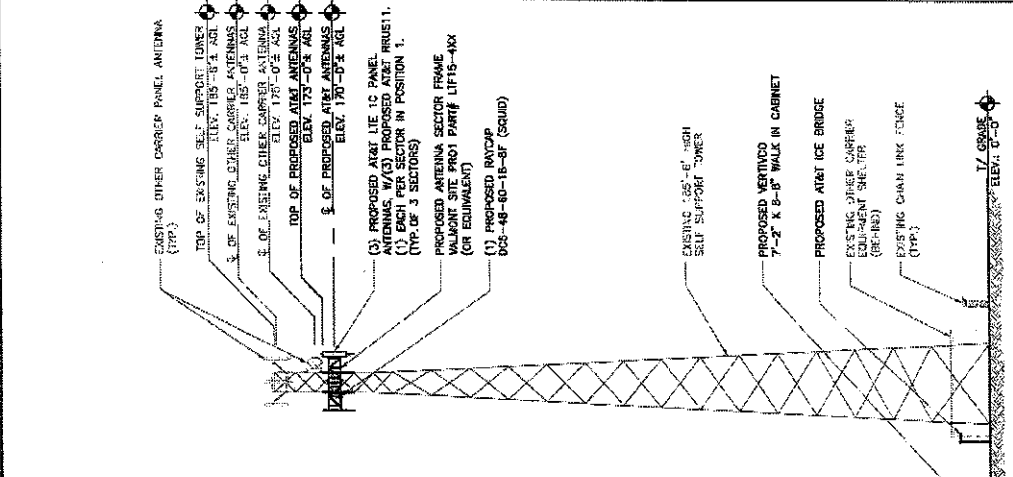
SHEET NUMBER

ANTENNA NOTES:

1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO ACHIEVE THE BEST SIGNAL STRENGTH AND TO MEET THE SYSTEM REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY THE HEIGHT OF THE ANTENNA WITH THE DESIGNER PRIOR TO CONSTRUCTION.
3. VERIFY THE AND SIZE OF THE ANTENNA TO MEET THE SYSTEM REQUIREMENTS.
4. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE ALL MATERIAL NECESSARY.
5. ANTENNA FOUNDATIONS ARE TO BE CONCRETE ON GRADE. NORTH, BEARING CLOCKWISE, IS TO BE INDICATED ON ALL FOUNDATIONS. (AND SUPPORTS) SHALL BE ACCURATELY ORIENTED IN THE SPECIFIED DIRECTION.
6. CONTRACTOR SHALL VERIFY ALL FOUNDATIONS PRIOR TO CONSTRUCTION.
7. SWEEP TEST SHALL BE CONDUCTED BY THE CONTRACTOR HAS SPECIFIED TO ACHIEVE THE BEST SIGNAL STRENGTH AND TO MEET THE SYSTEM REQUIREMENTS.

STRUCTURAL NOTES:

1. TOWER STRUCTURAL DESIGN SHALL BE PROVIDED BY THE CONTRACTOR TO VERIFY WITH PROJECT ENGINEER TO OBTAIN A COPY.
2. CONTRACTOR TO REFER TO TOWER STRUCTURAL DESIGN FOR ALL STRUCTURAL REQUIREMENTS. NO MODIFICATION OR TOWER REVISIONS SHALL BE APPROVED BY STRUCTURAL ENGINEER.



PROPOSED TOWER ELEVATION

PROPOSED ANTENNA PLAN

ICE BRIDGE DETAIL

TOWER ELEVATION & ANTENNA PLAN

A3

NSB - RAW LANDS 12626329 ISANTI 501 WEST DUJAL BOULEVARD NE ISANTI, MN 55040

AT&T WIRELESS

SOC WIRELESS

SOC WIRELESS

DATE: 02/18/17

REVISIONS:

NO.	DATE	REVISION
0	11/17/17	FOR CONSTRUCTION
1	11/09/17	FOR CONSTRUCTION
2	09/28/17	ISSUED FOR REVIEW
3	02/18/17	ISSUED FOR REVIEW

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 02/18/17

SCALE: 1/8" = 1'-0"

NO SCALE

NO SCALE

NO SCALE

- CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT T45-0 FREQUENCY DATA SHEET (FDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON THE DESIGN DRAWING. CONTRACTOR TO VERIFY ACTUAL CABLE LENGTH DURING PRE-CONSTRUCTION WALK.
- CONTRACTOR TO USE ROSEMENTED FIBER LINE HANGER COMPONENT'S (OR ENGINEER APPROVED EQUIV).

NOTES NO SCALE 3

CABLE MARKING LOCATIONS TABLE	
NO	LOCATIONS
1	EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS.
2	EACH BARK COAX SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS. THE BARK COAX SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS JUST PRIOR TO ENTERING THE BITS OR TRANSMITTER BUILDINGS.
3	CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
4	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.
5	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.

- THE ANTENNA SYSTEM COAX SHALL BE LABELED WITH VINYL TAPE.
- THE STANDARD IS BASED ON BRIGHT COLORED TAPE-RED, BLUE, GREEN, YELLOW, ORANGE, BROWN, WHITE, AND VIOLET. THESE TAPE MUST BE 3/4" WIDE & BY RESISTANT TAPE AS SPEC'ED IN W/4. ELECTRICAL COLOR CODING TAPE AND SHOULD BE READILY AVAILABLE TO THE ELECTRICIAN OR CONTRACTOR ON SITE.
- USING COLOR BANDS ON THE CABLES, MARK ALL BY CABLE BY SECTOR AND CABLE NUMBER AS SHOWN ON "CABLE COLOR CHART".
- WHEN AN EXISTING COAXIAL LINE THAT IS INTENDED TO BE A JUMPER IS IDENTIFIED AS SUCH, THE CONTRACTOR SHALL REMOVE THE EXISTING COLOR CODING SCHEME AND REPLACE IT WITH THE COLOR CODING SCHEME, IN THE ABSENCE OF AN EXISTING COLOR CODING AND TAGGING SCHEME. OR WHEN INSTALLING PROPOSED COAXIAL CABLES, THIS GUIDELINE SHALL BE IMPLEMENTED AT THIS SITE REGARDLESS OF TECHNOLOGY.
- ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) THREE WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNWELING.
- ALL COLOR BANDS INSTALLED AT THE TOP OF THE TOWER SHALL BE A MINIMUM OF 3" WIDE, AND SHALL HAVE A MINIMUM OF 3/4" OF SPACE BETWEEN EACH COLOR.
- ALL COAX CORES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.
- IF EXISTING CABLES AT THE SITE ALREADY HAVE A COLOR CODING SCHEME AND THEY ARE NOT INTENDED TO BE REUSED OR SHIPPED WITH THE NEW TECHNOLOGY, THE EXISTING COLOR CODING SCHEME SHALL REMAIN UNCHANGED.

PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE

SECTOR	POS	TECH	ANTENNA	ANTENNA E. HEIGHT	AZ	TMA/PRU	DC SOURCE AND DISTRIBUTION	CABLE TYPE	CABLE LENGTH	DOWN TILES
A	1	LTE 1C	EPBQ-654LBH6-L2 (N)	170' AGL	0°	ED RRUS11 (N)	(1) RANCOAP (N) DCB-10-60-10-0F	(2) DC TRUNK (N)	190'	0
	2	EMPTY	(1) FIBER (N)							
	3	EMPTY								
	4	EMPTY								
B	1	LTE 1C	EPBQ-654LBH6-L2 (N)	170' AGL	120°	RRUS11 (N)	(1) RANCOAP (N) DCB-10-60-10-0F	DC TRUNK (SHARED W/ A1)	190'	0
	2	EMPTY	FIBER (SHARED W/ A2)							
	3	EMPTY								
	4	EMPTY								
C	1	LTE 1C	EPBQ-654LBH6-L2 (N)	170' AGL	240°	RRUS11 (N)	(1) RANCOAP (N) DCB-10-60-10-0F	DC TRUNK (SHARED W/ A1)	190'	0
	2	EMPTY	FIBER (SHARED W/ A2)							
	3	EMPTY								
	4	EMPTY								

(N) = NEW
(E) = EASTING
(E) = ELECTRICAL
(M) = MECHANICAL

* INCLUDES SAFETY FACTOR OF 20% (1.0 FT. AT BOTH ENDS OF CABLE RUN).
CONTRACTOR TO VERIFY BY 20% WITH A&E W/RELESS CONSTRUCTION PARAGRAPHS 803/301 RE ENGINEER PRIOR TO INSTALLATION.

ANTENNA AND CABLING INFORMATION NO SCALE 2

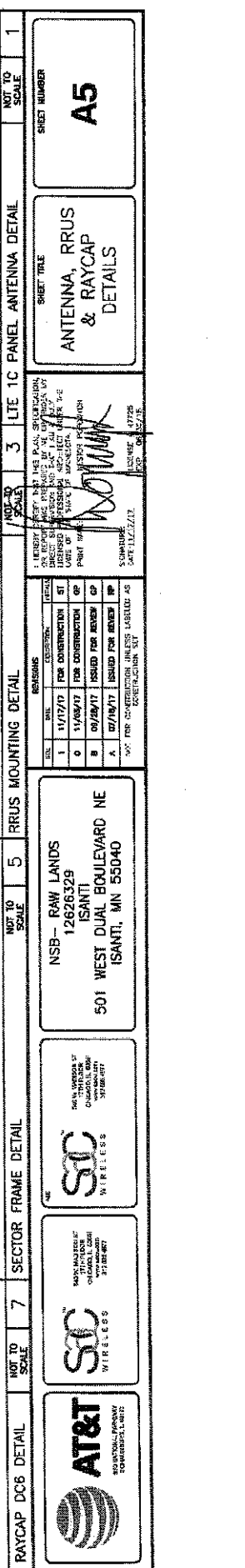
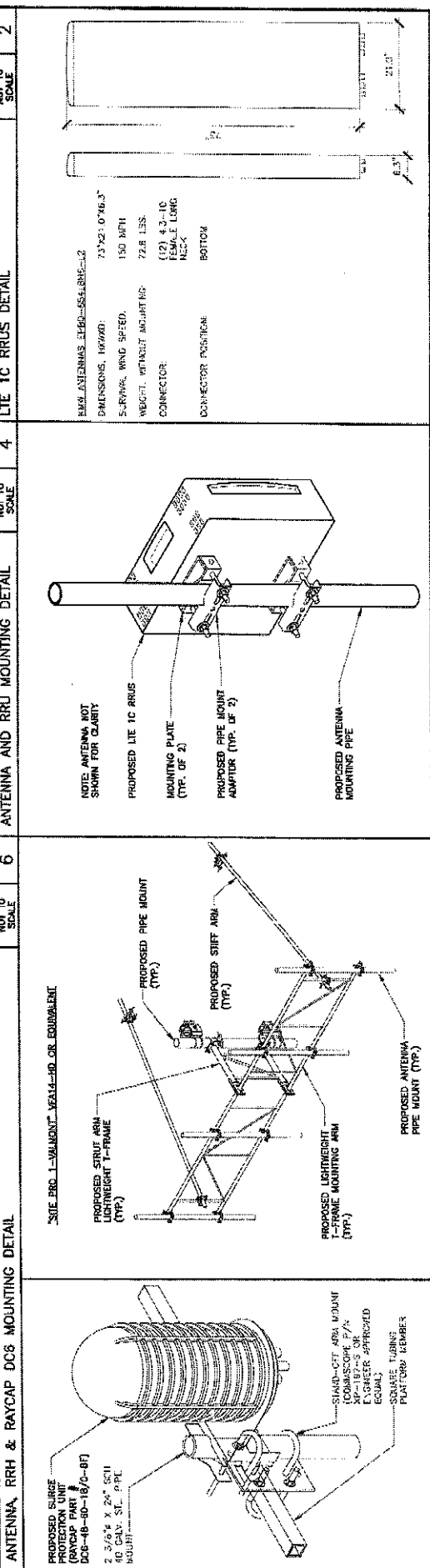
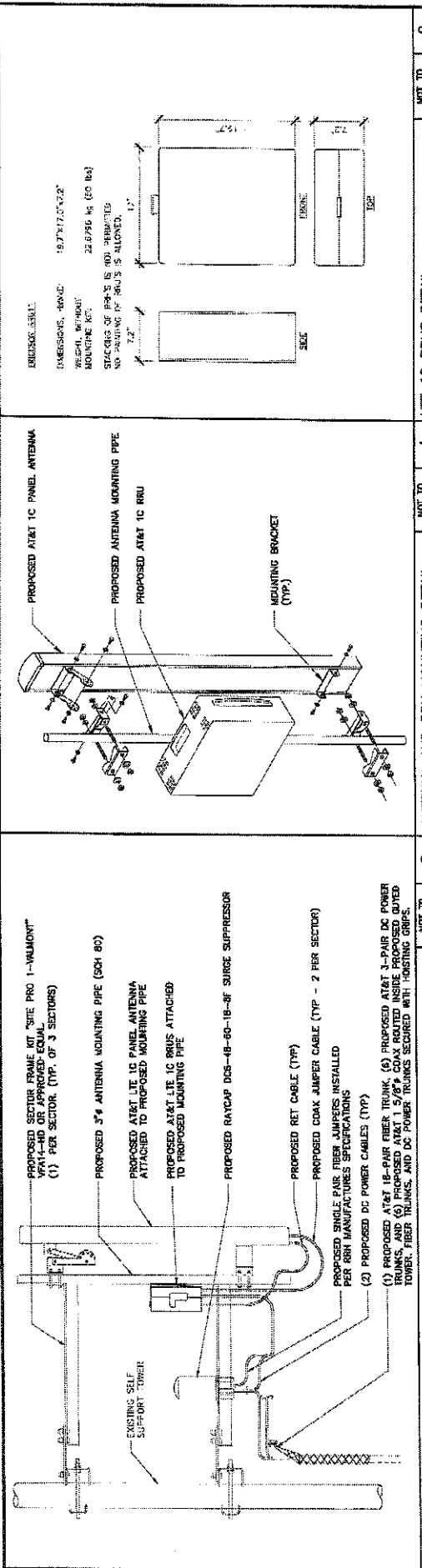
AT&T
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SCHEDULE

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REV	DATE	DESCRIPTION	BY	CHKD
1	11/17/17	FOR CONSTRUCTION	SP	
0	11/02/17	FOR CONSTRUCTION	OP	
B	06/26/17	ISSUED FOR REVIEW	OP	
A	07/10/17	ISSUED FOR REVIEW	OP	

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 11/17/17

SCHEDULE & CABLE NOTES
SHEET NUMBER
A4



REV	DATE	DESCRIPTION	BY	CHK
1	11/17/17	FOR CONSTRUCTION	BT	
0	11/16/17	FOR CONSTRUCTION	BT	
8	01/28/17	ISSUED FOR REVIEW	GP	
9	01/18/17	ISSUED FOR REVIEW	GP	

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SDC WIRELESS

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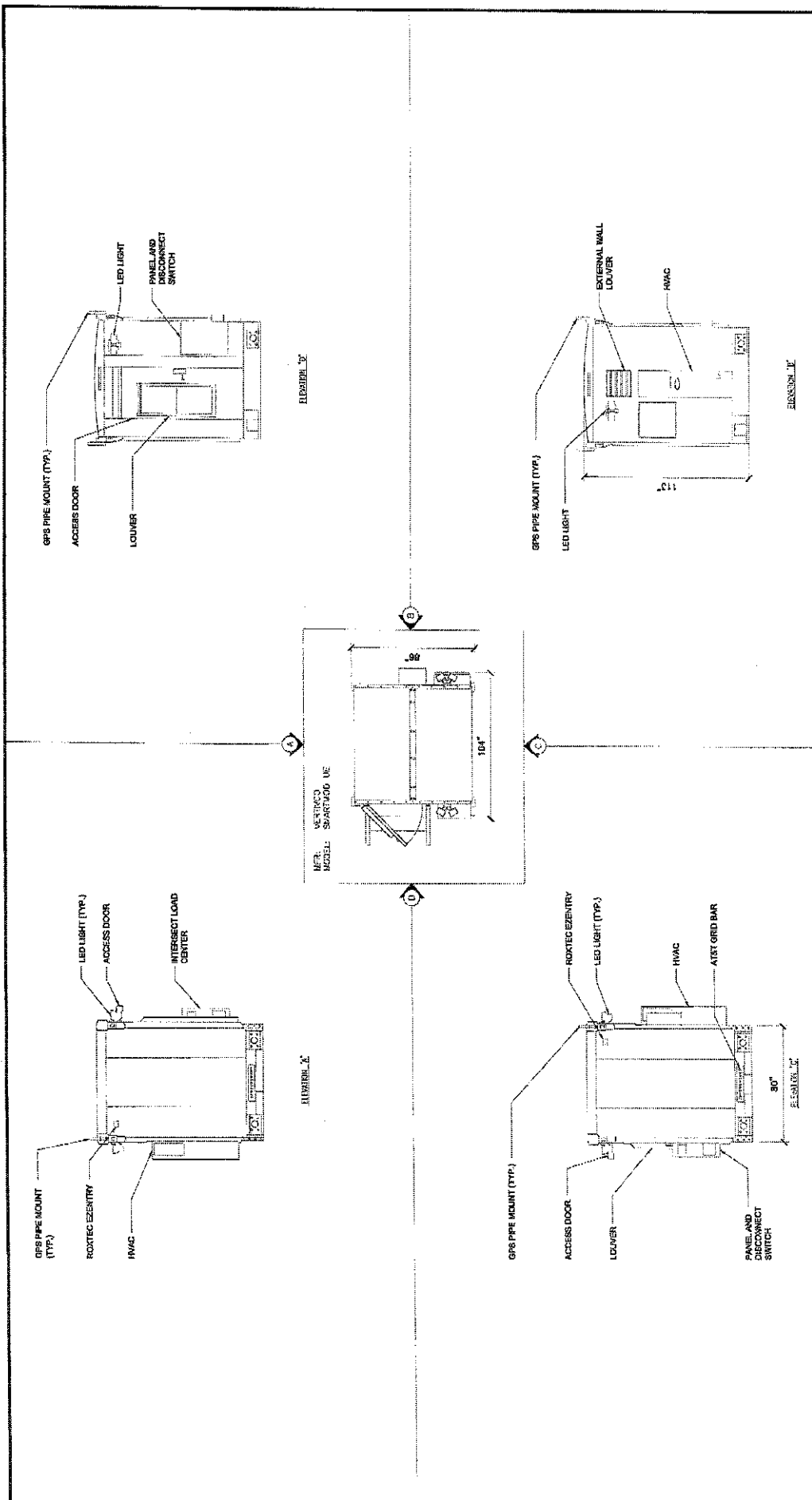
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WIC (WALK IN CABINET) PLAN & ELEVATIONS

SCALE 1/8" = 1'-0"	SHEET NUMBER A6	SHEET TITLE WIC PLAN & ELEVATIONS
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NO.	DATE	REVISIONS
1	11/17/17	FOR CONSTRUCTION
2	11/29/17	FOR CONSTRUCTION
3	02/28/18	ISSUED FOR REVIEW
4	07/19/17	ISSUED FOR REVIEW

ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE CODES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

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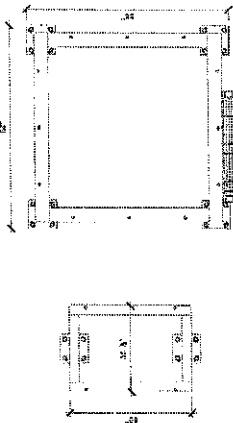
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SOC
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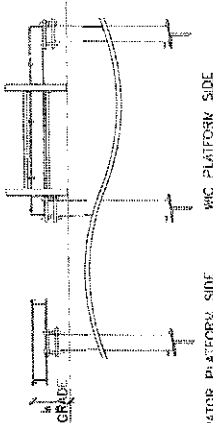
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1. VERTICO WIC PLATFORM ASSEMBLY, PART# 1006-0013-0066
TOTAL WEIGHT: ± 1265.8 LBS
2. VERTICO GENERATOR PLATFORM, PART# 1000-0070-0067
TOTAL WEIGHT: ± 611.0 LBS
3. VERTICO 2 STEP 42" WIDE STAIR, PART# 1003-0000-0003
TOTAL WEIGHT: ± 150.9 LBS



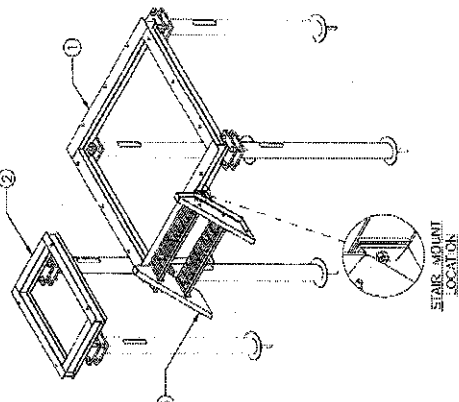
GENERATOR PLATFORM PLAN

WIC PLATFORM PLAN

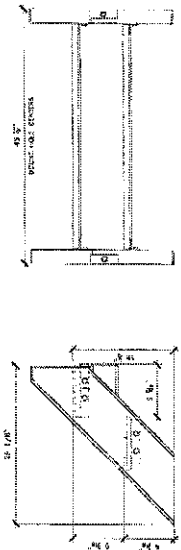


GENERATOR PLATFORM SIDE

WIC PLATFORM SIDE

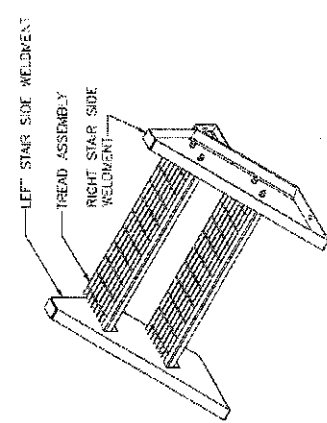


VERTICO 2 STEP 42" WIDE STAIR
TOTAL WEIGHT: ± 150.9 lbs

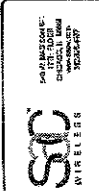


SIDE

FRONT



WIC CABINET AND GENERATOR PLATFORM DETAIL



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2 2 STEP 42" WIDE STAIR DETAIL

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DATE: 07/27/17

PROJECT: ISANTI

DRAWN BY: [Signature]

CHECKED BY: [Signature]

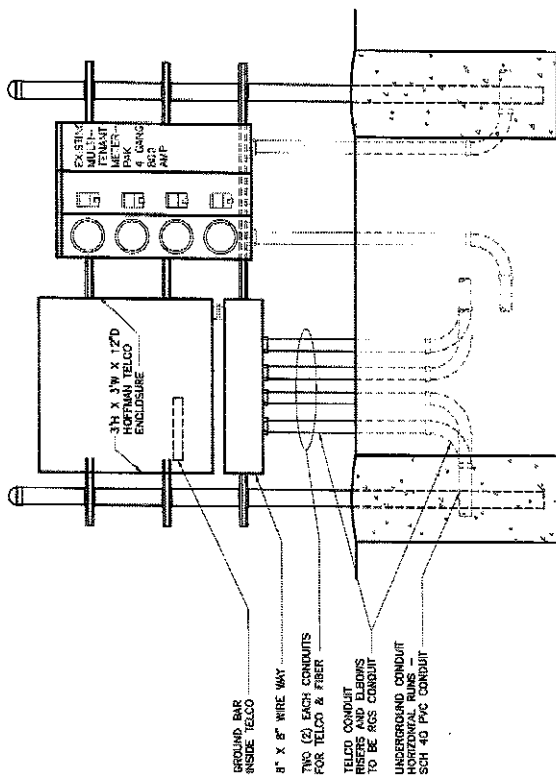
SCALE: AS SHOWN

SHEET TITLE
WIC CABINET &
GENERATOR
PLATFORM

SHEET NUMBER
A7

SCALE
DATE
1

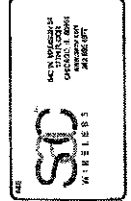
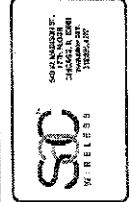
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MAIN COMPOUND H-FRAME DETAIL

NO SCALE

1



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ISANTI, MN 55040

REV.	DATE	REVISIONS	BY
1	11/07/17	FOR CONSTRUCTION	BT
0	11/03/17	ISSUED FOR REVIEW	BT
A	07/19/17	ISSUED FOR REVIEW	BT

NOT FOR CONSTRUCTION USE

PLEASE VERIFY THE FIELD IDENTIFICATION OF THE PROJECT AND THE LOCATION OF THE PROJECT WITH THE PROJECT MANAGER AND THE PROJECT MANAGER BEFORE THE PROJECT BEGINS. THE PROJECT MANAGER IS RESPONSIBLE FOR THE PROJECT IDENTIFICATION AND THE LOCATION OF THE PROJECT.

PROJECT MANAGER: [Signature]

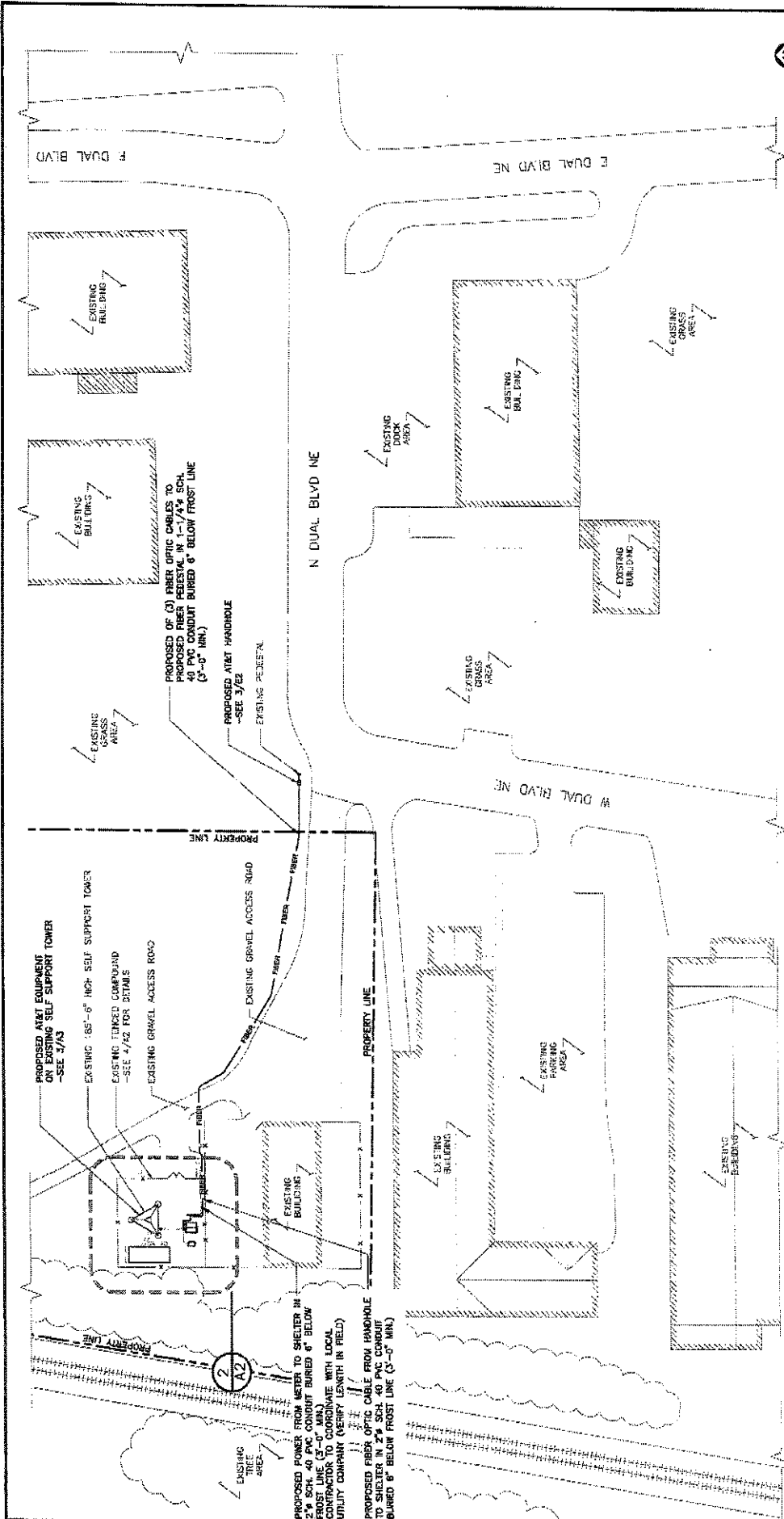
DATE: 11/07/17

SCALE: AS SHOWN

SHEET TITLE
**SITE
DETAILS**

SHEET NUMBER
A8

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UTILITY PLAN
 SHEET TITLE
 SHEET NUMBER
E1

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 501 WEST DUAL BOULEVARD NE
 ISANTI, MN 55040

PROPOSED FIBER OPTIC CABLE FROM HANDHOLE TO SHELTER IN 2" SCH. 40 PVC CONDUIT BURIED 6" BELOW FROST LINE (3'-0" MIN.)

REV	DATE	DESCRIPTION
1	11/17/17	FOR CONSTRUCTION
2	11/17/17	FOR CONSTRUCTION
3	09/26/17	ISSUED FOR REVIEW
4	07/18/17	ISSUED FOR REVIEW

PREPARED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 10/17/17

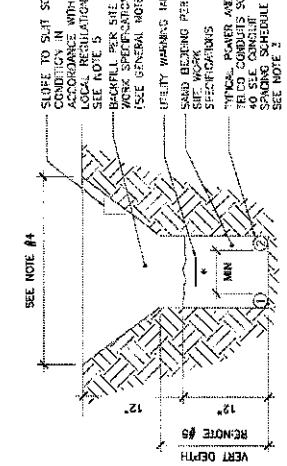
SCALE: 1" = 10' (AS SHOWN)
 DATE: 10/17/17



- OVERHEAD POWER
- UNDERGROUND POWER
- OVERHEAD UTILITIES
- UNDERGROUND TELCO
- UNDERGROUND POWER AND TELCO
- ABOVE GROUND POWER (PROPOSED DC POWER CABLE)
- ABOVE GROUND TELCO (PROPOSED FIBER OPTIC CABLE)

1. ALL UNDERGROUND CONDUITS SHALL BE SCA 40 PVC EXCEPT IRON ELBOWS AND MISSES SHALL BE RAC ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS. 2"-8" MINIMUM SHALL BE REQUIRED.
2. THE TELEPHONE SERVICE CABLES SHOULD BE INSTALLED IN RIBBED METAL CONDUITS PER SCA 40 STANDARD SPEC. 2640.
3. TWO CONDUITS ARE 5'-0" IN DETAIL 2, ALTHOUGH MULTIPLE CONDUITS CAN BE PLACED IN THE SAME TRENCH A MINIMUM SEPARATION IS DETAINED PER DETAIL 2. THE CONDUITS SHALL BE INSTALLED IN DETAIL 2. THE CONDUITS SHALL BE INSTALLED IN DETAIL 2. THE CONDUITS SHALL BE INSTALLED IN DETAIL 2.
4. CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY REPAIRING THE EXTERIOR WALL SEPARATION OF CONDUITS.
5. TRENCHING SAFETY, INCLUDING, BUT NOT LIMITED TO, SIGNS, FLAGGING, SLIPING, AND STOPPING, SHALL BE GOVERNED BY THE CURRENT OSHA REGULATIONS.
6. ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION.

LEGEND NOT TO SCALE 2



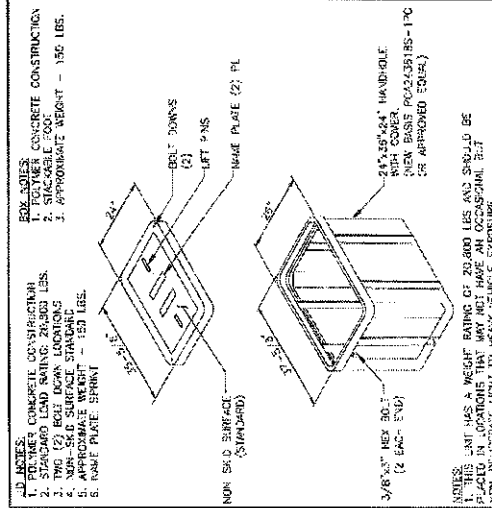
CONDUIT #1	CONDUIT #2
POWER	POWER
POWER	TELCO
TELCO	COMMUNICATIONS & CONTROL CIRCUITS
COMMUNICATIONS & CONTROL CIRCUITS	TELCO
	COMMUNICATIONS & CONTROL CIRCUITS

TRENCH DETAIL NOT TO SCALE 1

SHEET TITLE
E2

LEGEND AND DETAILS

- AD NOTES:
- 1. POLYMER CONCRETE CONSTRUCTION
- 2. 2" (2) POLYMER CONCRETE CONSTRUCTION
- 3. APPROXIMATE WEIGHT - 150 LBS.
- 4. APPROXIMATE WEIGHT - 150 LBS.
- 5. APPROXIMATE WEIGHT - 150 LBS.
- 6. TABLE PLATE: SPRINT



HANDHOLE DETAIL NOT TO SCALE 4

NSB - RAW LANDS
12626329
ISANTI
501 WEST DUAL BOULEVARD NE
ISANTI, MN 55040

- REVISIONS
- DATE
- BY
- DESCRIPTION
- 1. 10/27/17 FOR CONSTRUCTION
- 2. 11/03/17 FOR CONSTRUCTION
- 3. 07/18/17 ISSUED FOR REVIEW
- 4. 07/18/17 ISSUED FOR REVIEW

NOTED: THIS UNIT HAS A WEIGHT RATING OF 20,000 LBS AND SHOULD BE PLACED IN OPERATIONS THAT MAY NOT HAVE AN OCCASIONAL 20-TON WEIGHT LOADS EXCEPT TO NEAR TRAFFIC EXPOSURE.

AT&T COMMUNICATIONS & MEDIA

SOC WIRELESS

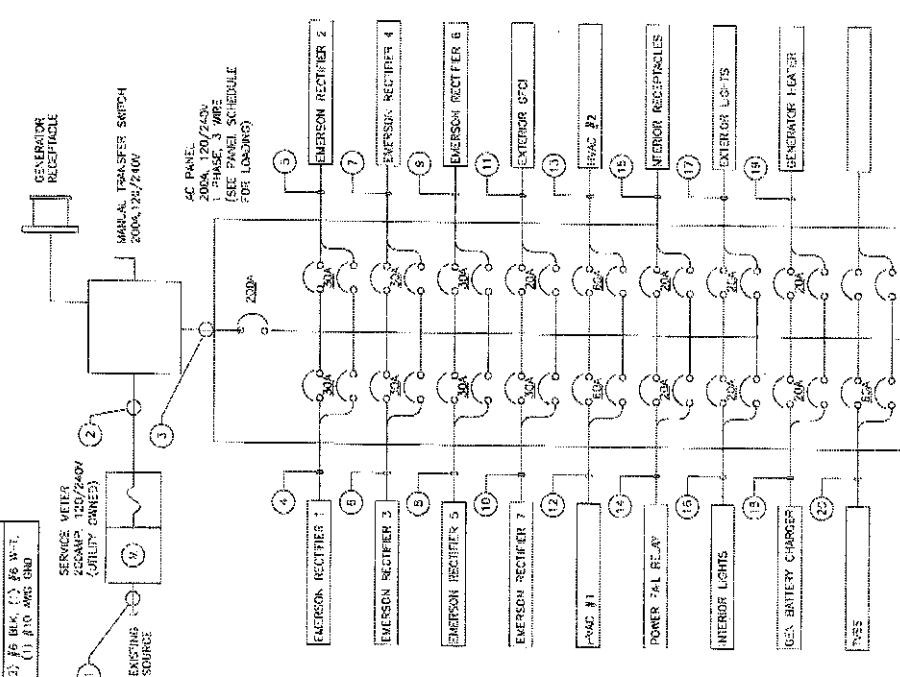
SOC WIRELESS

NOTED FOR CONSTRUCTION UNLESS NOTED AS OTHERWISE

NO	FROM	TO	CONFIGURATION
18	AC LOAD CENTER	GEN BATTERY CHARGER	(1) #12 E-4 (1) #12 WFT, (1) #12 AWG GND
19	AC LOAD CENTER	GENERATOR -EATER	(1) #12 BUK (1) #12 WFT, (1) #12 AWG GND
20	AC LOAD CENTER	1995	(2) #6 BUK (2) #6 W-T, (1) #10 AWG GND

NO	FROM	TO	CONFIGURATION
1	TRANSFORMER	UTILITY METER	(3) 3/0, (1) #4 AWG GND
2	STRONG DISCONNECT	TRANSFER SWITCH	(3) 3/0, (1) #4 AWG GND
3	TRANSFER SWITCH	AC LOAD CENTER	(3) 3/0, (1) #4 AWG GND
4	AC LOAD CENTER	EMERSON RECIPROCAL #1	(2) #10, (1) #10 AWG GND
5	AC LOAD CENTER	EMERSON RECIPROCAL #2	(2) #10, (1) #10 AWG GND
6	AC LOAD CENTER	EMERSON RECIPROCAL #3	(2) #10, (1) #10 AWG GND
7	AC LOAD CENTER	EMERSON RECIPROCAL #4	(2) #10, (1) #10 AWG GND
8	AC LOAD CENTER	EMERSON RECIPROCAL #5	(2) #10, (1) #10 AWG GND
9	AC LOAD CENTER	EMERSON RECIPROCAL #6	(2) #10, (1) #10 AWG GND
10	AC LOAD CENTER	EMERSON RECIPROCAL #7	(2) #10, (1) #10 AWG GND
11	AC LOAD CENTER	EXTERIOR GFCI	(1) #12 BUK, (1) #12 WFT, (1) #12 AWG GND
12	AC LOAD CENTER	1995	(1) #6 THRU/THRU (1) #10 AWG GND
13	AC LOAD CENTER	1995 #2	(1) #6 THRU/THRU (1) #10 AWG GND
14	AC LOAD CENTER	POWER FAIL RELAY	(2) #12 THRU/THRU (1) GND
15	AC LOAD CENTER	INTERIOR RECEPTACLES	(1) #12 BUK, (1) #12 WFT, (1) #12 AWG GND
16	AC LOAD CENTER	INTERIOR LIGHTS	(1) #12 BUK, (1) #12 W-T, (1) #12 AWG GND
17	AC LOAD CENTER	EXTERIOR LIGHTS	(1) #12 BUK, (1) #12 W-T, (1) #12 AWG GND

REFERENCE SHELF-TOP DRAWINGS FOR PANEL LOAD CENTER SCHEDULE



- CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO STARTING WORK TO VERIFY THE CONTRACTOR'S FUNCTIONS. THE SCOPE OF WORK OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET ALL STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND RECESSED SWITCHING ON THE FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS AS REQUIRED. ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL RECEPTACLES AND CONTINUOUS DEVICES SHALL BE PROVIDED WITH EARTHING TERMINALS. IMMEDIATELY INSPECTED EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS AND ALL RECEPTACLES SHALL BE PROVIDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
- PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.
- DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING -24V AND -48V CONDUCTOR WIRING. RED MARKINGS IDENTIFYING -24V AND -48V MARKINGS SHALL IDENTIFY -48V. REFER TO ATT-002-280-701.
- DC POWER WIRING SIZE 14 AWG TO 10 AWG SHALL BE TOLCOLEX II. DC POWER WIRING 8 AWG AND LARGER SHALL BE TOLCOLEX IV. REFER TO ATT-002-280-701.
- LITE POWER WIRING SHALL BE ACCORDANCE WITH ATT-002-280-331.

ELECTRIC SLD AND PANEL SCHEDULE

DATE: 11/17/17

SCALE: 1" = 12"

SHEET NUMBER: E3

PROJECT: NSB- RAW LANDS 12626-329 ISANTI 501 WEST DUAL BOULEVARD NE ISANTI, MN 55040

DATE: 11/17/17

SCALE: 1" = 12"

SHEET NUMBER: E3

CONTRACTOR: AT&T

DATE: 11/17/17

SCALE: 1" = 12"

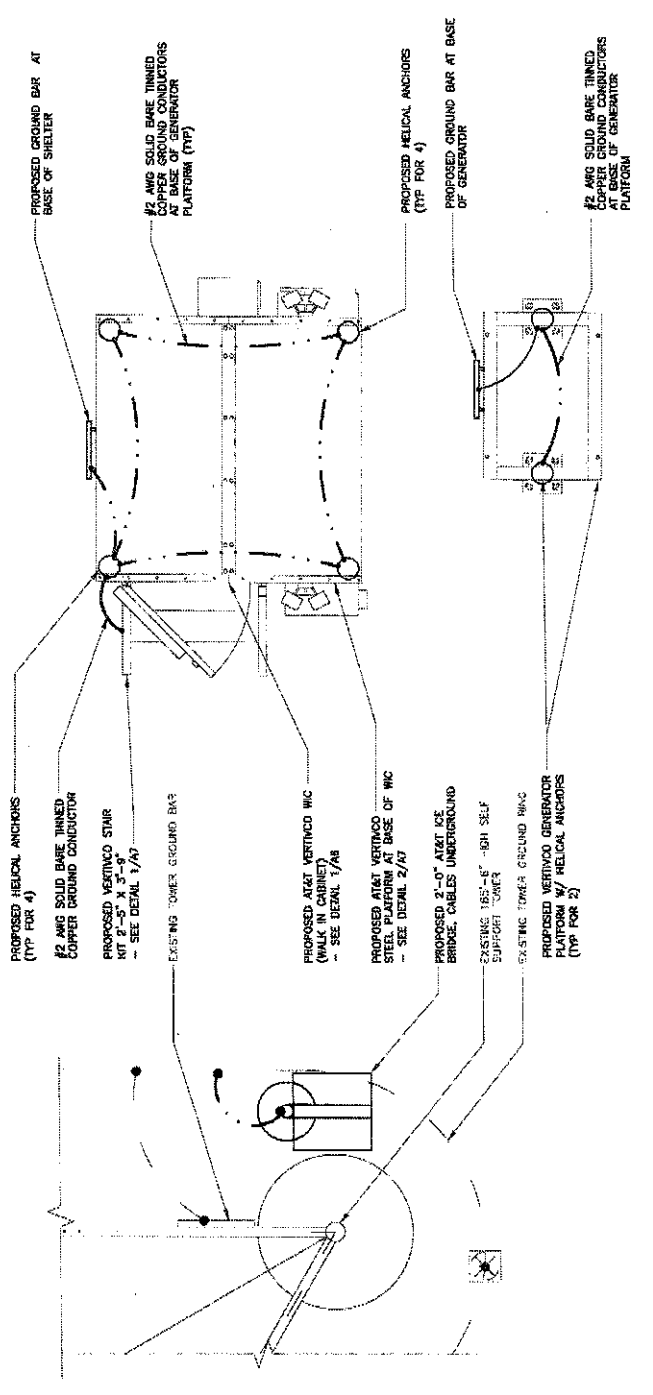
SHEET NUMBER: E3

PROJECT: NSB- RAW LANDS 12626-329 ISANTI 501 WEST DUAL BOULEVARD NE ISANTI, MN 55040

DATE: 11/17/17

SCALE: 1" = 12"

SHEET NUMBER: E3



SYMBOLS LEGEND:

	GROUND ROD
	GROUND ROD TEST WELL
	(NEW) GROUND WIRE
	GROUND BAR
	CADWELD CONNECTION
	MECHANICAL CONNECTION

NOTE: GROUNDING PLAN FOR
SEE LOCATIONS FOR
ACTUAL EQUIPMENT LOCATION

NOT TO SCALE 1

SHEET NUMBER
E4

SHEET TITLE
SHELTER
GROUNDING PLAN
& DETAILS

I HEREBY CERTIFY THAT THE FULL SPECIFICATIONS, DRAWINGS, AND DETAILS SET FORTH HEREIN AND THAT I AM A LICENSED PROFESSIONAL ELECTRICAL ENGINEER IN THE STATE OF MINNESOTA UNDER THE LICENSE NO. 4775. I HAVE REVIEWED AND APPROVED THE WORK SHOWN ON THESE DRAWINGS. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE WORK SHOWN ON THESE DRAWINGS.
 SIGNATURE: [Signature]
 LICENSE NO. 4775
 DATE: 02/28/17
 PROJECT: [Project Name]

NO.	DATE	REVISIONS	BY	CHKD.	APP'D.
1	11/17/17	FOR CONSTRUCTION	ST		
2	11/20/17	FOR CONSTRUCTION	ST		
3	02/28/17	SHED FOR REVIEW	OF		
4	02/28/17	SHED FOR REVIEW	OF		

NO. 17 FOR CONSTRUCTION

NSB - RAW LANDS
 12626329
 ISANTI
 501 WEST DUAL BOULEVARD NE
 ISANTI, MN 55040

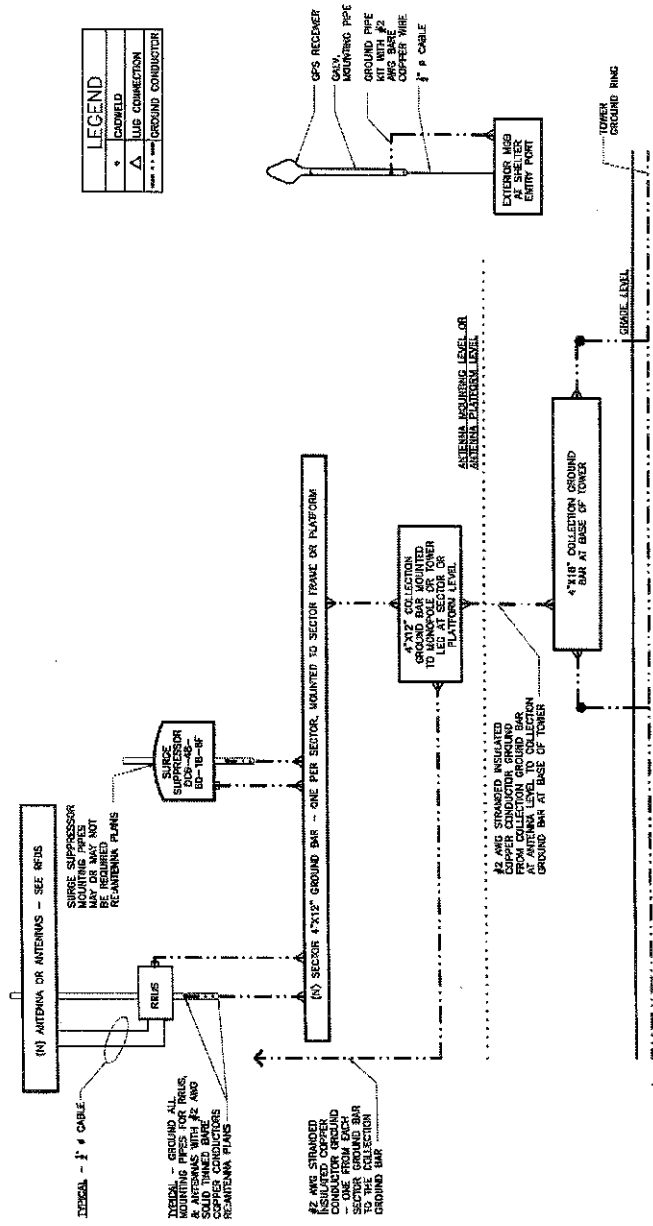
SOC WIRELESS

SOC WIRELESS

AT&T
 COMMUNICATIONS
 CORPORATION

THIS INFORMATION CONTAINED IN THIS SET OF CONTRACT DOCUMENTS IS THE PROPERTY OF AT&T INTELLECTUAL PROPERTY. ANY USE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF AT&T INTELLECTUAL PROPERTY IS STRICTLY PROHIBITED.

REFER TO ANTENNA PLANS AND POSITIONING OF ANTENNAS, RISERS AND MOUNTING PIPES AT EACH SECTOR GROUNDING POINTS AS PER THE DIAGRAM



GENERIC ANTENNA GROUNDING SINGLE LINE DIAGRAM

SHEET NUMBER E5	SHEET TITLE GENERIC ANTENNA GROUNDING SLD	<p>NSB - RAW LANDS 12626329 ISANTI 501 WEST DUAL BOULEVARD NE ISANTI, MN 55040</p>															
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/27/77</td> <td>FOR CONSTRUCTION</td> </tr> <tr> <td>2</td> <td>11/28/77</td> <td>FOR CONSTRUCTION</td> </tr> <tr> <td>3</td> <td>06/28/77</td> <td>ISSUED FOR REVISION</td> </tr> <tr> <td>4</td> <td>07/24/77</td> <td>ISSUED FOR REVISION</td> </tr> </tbody> </table> <p style="font-size: small; text-align: right;">NOT FOR CONSTRUCTION UNLESS LABELLED AS SUCH CONSTRUCTION SET</p>			NO.	DATE	DESCRIPTION	1	11/27/77	FOR CONSTRUCTION	2	11/28/77	FOR CONSTRUCTION	3	06/28/77	ISSUED FOR REVISION	4	07/24/77	ISSUED FOR REVISION
NO.	DATE	DESCRIPTION															
1	11/27/77	FOR CONSTRUCTION															
2	11/28/77	FOR CONSTRUCTION															
3	06/28/77	ISSUED FOR REVISION															
4	07/24/77	ISSUED FOR REVISION															
<p>DESIGNED BY: [Signature] LICENSE NO. 4772 DATE: 05/25/78</p>																	

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS THE PROPERTY OF AT&T WIRELESS. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE PROJECT SPECIFICALLY IDENTIFIED HEREIN IS STRICTLY PROHIBITED.

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION

SECTION "P" - SURGE PROTECTORS

(E) CELL REFERENCE GROUND BAR (IF COLOCATED)

(F) GENERATOR TOWER WORK (IF AVAILABLE) (#2 AWG)

(G) TELE GROUND BAR (#2 AWG)

(H) COMMERCIAL POWER COMMON ACUARA/GROUND BOND (2/0)

(I) FEED GROUND BAR (#2 AWG)

(J) POWER ROOM REFERENCE GROUND BAR (#2 AWG)

(K) RECEPTOR TRAYS

SECTION "A" - SURGE ABSORBERS

(G) INTERIOR GROUND RING (#2 AWG)

(H) EXTERNAL GROUND FIELD (BURIED GROUND RING) (#2 AWG)

(I) METALLIC ACID WATER PIPE (IF AVAILABLE) (1/2 AWG)

(J) BUILDING STEEL (IF AVAILABLE) (1/2 AWG)

SECTION "N" - ISOLATED GROUND ZONE

(A) ALL ISOLATED GROUND REFERENCE

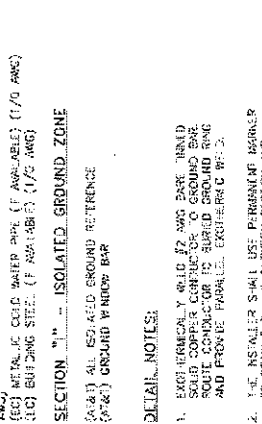
(B) GROUND WINDOW BAR

DETAIL NOTES:

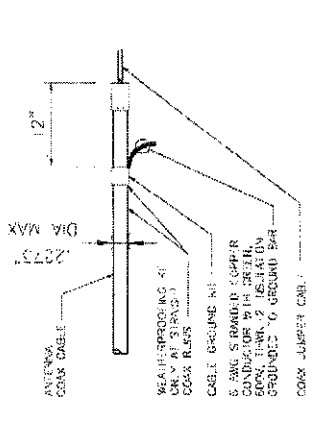
1. EXCEPT WHERE SHOWN OTHERWISE, ALL WIRING SHALL BE PERMITTED BY THE NATIONAL ELECTRICAL CODE AND THE NATIONAL FIRE ALARM AND SIGNAL CODE.

2. THE INSTALLER SHALL USE PERMANENT MARKER TO LABEL ALL WIRING AND CABLES FOR IDENTIFICATION.

NO.	REQUIREMENT	PART NUMBER	DESCRIPTION
1	1/4" x 4" x 20"	5013	SOLID GROUND BAR
2	4-8356	W-1	WELDING BRACKET
3	3061-4	NSU-AT-035	NSU-AT-035
4	3012-1	5/16" x 1/2" x 1/2"	FLANGES
5	3015-6	5/8" x 3/4" x 1/2"	FLANGES



MASTER GROUND BAR DETAIL



COAX GROUND KIT DETAIL

GROUND BAR DETAIL

1/4" CR #6 WELD STANCHION TO GROUND BAR WITH GREEN GELTY THIN 2 INCH AT 90 DEGREE

NO. 10 EXPLOSION TO BE USED WITH #2 AWG GROUND CONDUCTOR. EXOTHERMIC WELD TO BURNED GROUND RING AND WELDED BAR

FOR NONMETALLIC CONDUIT WITH STOP WITH TWO HOLES 1/2" AS OF CONDUIT ENG.

PROPOSED GPS ANTENNA

PROPOSED GPS ANTENNA MOUNT AT APPROX. ELEVATION

PROPOSED STRUCTURE

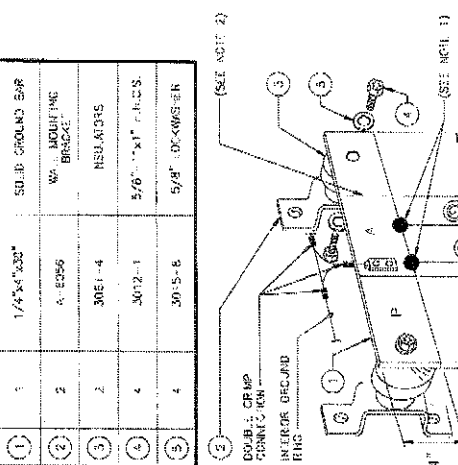
SECURE TO WALL USING (4) BOLTS

1/2" COAX CABLE 8' MIN. MIN. BENDING RADIUS PER CABLE MANUFACTURER'S SPECIFICATIONS

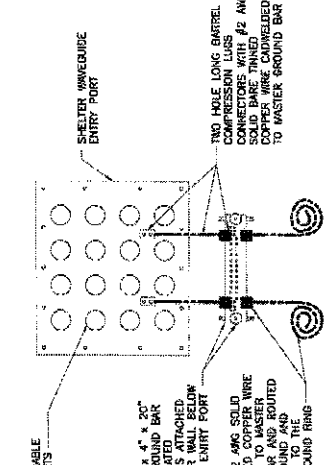
OUTSIDE GROUNDING BUS BAR

#2 AWG GROUNDING CONDUCTOR TO GROUND BAR

#2 AWG BASE RING'S CENTER



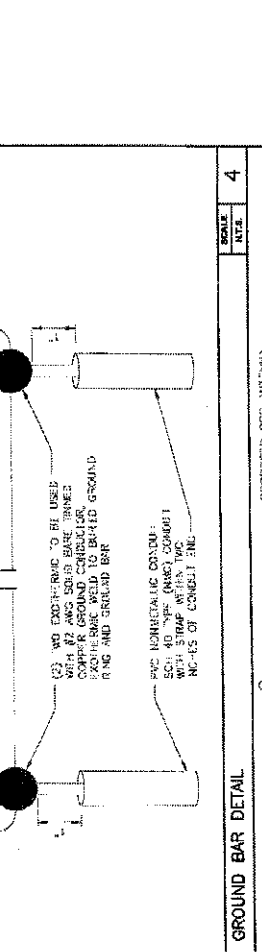
GROUND BAR DETAIL



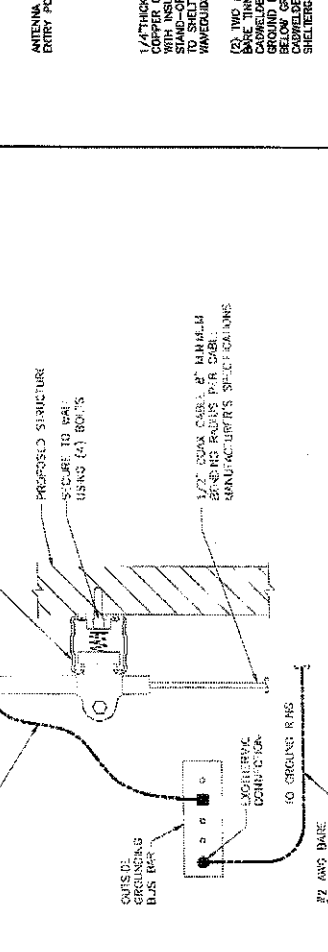
GPS ANTENNA GROUNDING

NEWTON INSTRUMENT COMPANY, INC.
BUTNER, N.C.

NO.	REQUIREMENT	PART NUMBER	DESCRIPTION
1	1/4" x 4" x 20"	5013	SOLID GROUND BAR
2	4-8356	W-1	WELDING BRACKET
3	3061-4	NSU-AT-035	NSU-AT-035
4	3012-1	5/16" x 1/2" x 1/2"	FLANGES
5	3015-6	5/8" x 3/4" x 1/2"	FLANGES



MASTER GROUND BAR DETAIL



COAX GROUND KIT DETAIL

REVISIONS

NO.	DATE	DESCRIPTION
1	11/17/77	FOR CONSTRUCTION
A	02/28/77	REVISED FOR REVISION
B	02/28/77	REVISED FOR REVISION

FOR THE PROJECT: 4775
PROJECT NO. 4775
DRAWING NO. 4775

NSB - RAW LANDS
12626329
ISANTI
501 WEST DUAL BOULEVARD NE
ISANTI, MN 55040

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

AT&T WIRELESS

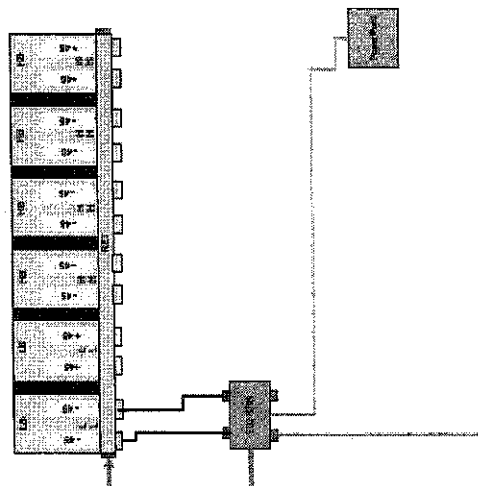
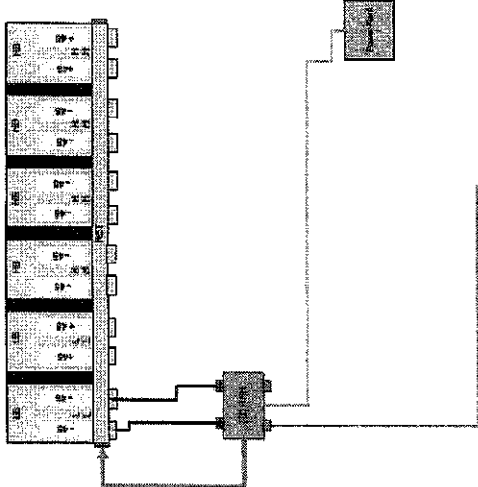
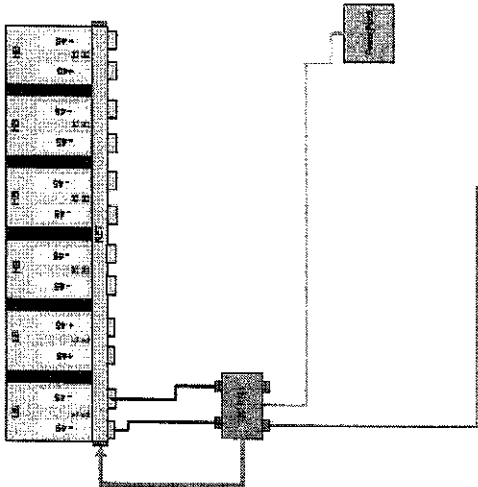
SOC WIRELESS

SOC WIRELESS

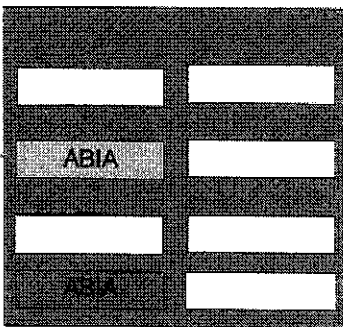
SHIELDING SYSTEMS

E6

GROUNDING DETAILS

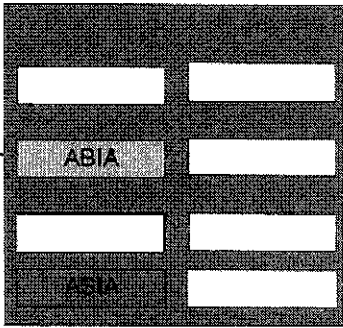


CPR# 4-6
CPR# 1-3
CPR# 4-6
CPR# 1-3
CPR# 4-6
CPR# 1-3



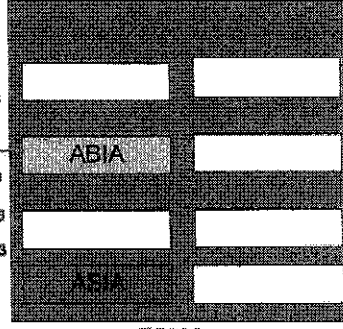
FSM4

CPR# 4-6
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CPR# 1-3



FSM4

CPR# 4-6
CPR# 1-3
CPR# 4-6
CPR# 1-3
CPR# 4-6
CPR# 1-3



FSM4

SCALE: AS SHOWN

SHEET NUMBER: **RF**

SHEET TITLE: **RFDS PLUMBING DIAGRAM**

I PERSONS SHALL NOT USE THIS PLAN OR ANY PART THEREOF FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. ANY USE OF THIS PLAN FOR ANY OTHER PROJECT IS AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ENGINEER.
 DATE: 11/17/77
 PROJECT: 12626328
 SHEET: RF

REV.	DATE	DESCRIPTION	BY
1	11/17/77	FOR CONSTRUCTION	EP
0	11/04/77	FOR CONSTRUCTION	EP
B	06/24/77	ISSUED FOR REVIEW	EP
A	07/10/77	ISSUED FOR REVIEW	EP

NOT FOR CONSTRUCTION
UNLESS OTHERWISE NOTED

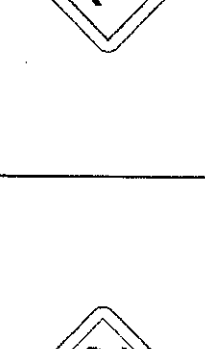
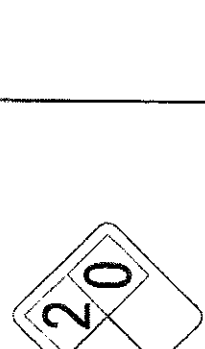
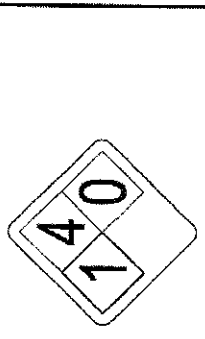
NSB - RAW LANDS
12626328
ISANTI
501 WEST DUAL BOULEVARD NE
ISANTI, MN 55040

SIC WIRELESS
 3028/207

SIC WIRELESS
 3028/207

AT&T
 COMMUNICATIONS
 DIVISION

RFDS PLUMBING DIAGRAM



ALERTING SIGN
(FOR PROPANE)

ALERTING SIGN
(FOR DIESEL FUEL)

ALERTING SIGN
(FOR CELL SITE BATTERIES)

GENERAL SIGNAGE GUIDELINES	INFO SIGNS	INFO SIGNS	INFO SIGNS	NOTICE SIGN	CAUTION SIGN
Structure Type Towers	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
SEE Towers Towers w/ high voltage lines	shelter doors OR on ladder	On backside of Antennas	shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Light (Holes / Flag Poles)	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Battery Mount Poles (BPM)	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Microcells mounted on non-BPM poles	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Roof Tops	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
At all access points to the roof	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Unfinished Antennas	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Antennas mounted facing into the building	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Antennas on support structure	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Roofing: Gable	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Roofing: Flat	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Roofing: Dome	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Roofing: Other	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Chimney Stacks	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above
Water Stations	entrance gates, shelter doors OR on ladder	On backside of Antennas	entrance gates, shelter doors OR on the exterior		At the height of the first climbing step, see 31 above

REVISIONS	DATE	BY	DESCRIPTION
1	1/17/77	...	FOR CONSTRUCTION
2	1/23/77	...	FOR CONSTRUCTION
3	6/22/77	...	ISSUED FOR REVIEW
4	8/7/77	...	ISSUED FOR REVIEW

NOT FOR CONSTRUCTION USE

501 WEST DUAL BOULEVARD NE
ISANTI, MN 55040

NSB-12626329
ISANTI

RAW LANDS

SHEET NUMBER
SIGNAGE REQUIREMENTS
SHEET NUMBER
SIGNAGE

NOTICE

Beyond This Point you are entering a controlled area where RF emissions may exceed FCC General Population Exposure Limits. Follow all posted signs and the guidelines for working in a RF environment.

CAUTION

Beyond This Point you are entering a controlled area where RF emissions may exceed the FCC Occupational Exposure Limits. Occupational Exposure Limits for working in a RF environment.

WARNING!

DO NOT TOUCH POWER LINES OR Wires. Stay clear of power lines and wires. Do not touch power lines or wires. Do not touch power lines or wires.

PROPERTY OF AT&T
AUTHORIZED PERSONNEL ONLY

IN CASE OF EMERGENCY OR FIRE, IN PERFORMING MAINTENANCE ON THIS SITE, CALL 911 AND REPORT THE LOCATION OF THE FIRE.

ALERTING SIGN #4

NOTICE: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

ALERTING SIGN #5

INFORMATION: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

ALERTING SIGN #6

INFORMATION: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

ALERTING SIGN #7

INFORMATION: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

ALERTING SIGN #8

INFORMATION: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

ALERTING SIGN #9

INFORMATION: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

ALERTING SIGN #10

INFORMATION: A sign with this symbol is required at all access points to the roof of buildings containing antennas.

AT&T

FOR THE FEDERAL GOVERNMENT

SC

WIRELESS

SC

WIRELESS

THE INFORMATION CONTAINED ON THIS SHEET IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. ANY USE OR DISCLOSURE OF THIS INFORMATION IS UNRESTRICTED.

Permit at 223 West County Road 5 with the condition the applicant have thirty (30) days to find homes for her puppies so she will have a total of no more than the four dogs she originally applied for. Carried 3-0.

G.2. Consider Request for Conditional Use Permit (CUP) for Proposed 527 Char-Lon – Keith Lundberg

City Planner Carla Vita reviewed the request for a CUP and stated the Planning Commission has recommended its approval with the following conditions:

- A permanent foundation for the structure.
- A driveway starting from the home, that must be paved a minimum of twelve feet wide and thirty feet long.
- The Lundberg's must address driveway culverts. The City Engineer must give approval before a building permit is issued.
- All lots shall have seeded or sodded lawns as per ordinance.
- The owners of the property have one year from the time City water and sewer runs by their home to hook up to City services.

Motion by Larson, second by Fuhol to approve the request for a Conditional Use Permit by Keith Lundberg with the recommendations as stated above. Carried 3-0.

G.3. Consider Request for Conditional Use Permit (CUP) for 501 West Dual Blvd – Randy Polzin

City Planner Carla Vita reviewed the request for a CUP and stated the Planning Commission has recommended its approval with the following conditions:

- The owner/users of the telecommunications tower make every effort to promote co-location of other telecommunication providers.
- A bond of \$25,000 must be submitted to the City before a building permit is issued.
- Proof that the proposed tower complies with regulations administered by the Federal Aviation Administration. This proof must be submitted at the same time a building permit is requested.
- The Telecommunications Tower must be light blue in color.
- The Telecommunications Tower must have security fencing.
- Applicant must submit a fall-zone area which is a requirement of the Ordinance.
- Before a building permit is issued a site plan showing the landscaping must be submitted.

There was discussion on the color of the tower and a recommendation by Tower Representative Mr. Peterson that they would like to leave it the color of galvanized steel.

Motion by Larson, second by Fuhol to approve the request for a Conditional Use Permit by Randy Polzin with the recommendations as stated above excepting the color of the tower which can remain in the galvanized steel color. Carried 3-0.

G.4 (8). Consider Resolution 2002-034 Approving Temporary Liquor Licenses to the Isanti Firefighters Rodeo Association – July Rodeo Event; August Demolition Derby Event

A Community For Generations.



3.b.

MEMORANDUM

TO: Members of the Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *RK*

DATE: March 20, 2018

SUBJECT: **PUBLIC HEARING – REQUEST FROM GRANNY MAYS FOR A
CONDITIONAL USE PERMIT TO OPERATE A RESTAURANT A 2
ENTERPRISE AVE NE SUITE D2**

Background

The City has received a Conditional Use Permit application from Granny Mays Catering and Restaurant (Jill Hoffman, applicant) to operate a restaurant at 2 Enterprise Ave NE Suite D2. Under Section 11, Article 5, Subd. 4(P) a “Restaurant” is a conditional use.

The proposed use will be for Granny Mays catering kitchen and a small storefront for dine-in customers.

Staff Comments

Staff believes that this proposal meets all requirements within City code and the Comprehensive Plan. The building and parking is already existing, and as such, does not require any additional review by the Planning Commission.

Development and Operations Committee Comments

DOAC met on Thursday February 22, 2018 and provided the following comments:

- 1) All applicable licenses are obtained from the proper authorities.
- 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

Public Comment

No public comments have been received regarding the proposed conditional use permit prior to the release of this staff memo.

Staff Recommendation

Staff recommends **APPROVAL** with the conditions as stipulated by DOAC.

Supporting Information

Public Notice

Notice of the Conditional Use Permit was published in the official City newspaper, *Isanti County News* on Wednesday March 7th, 2018. Mailed notices were provided to property owners within 350' of the subject property.

Zoning Ordinance Requirements

Highway 65 provides the main entrance into Isanti from the north and south. It is the purpose of this district to enhance the first impression of Isanti through development of a corridor that is inviting, visually appealing and a place that community members want to visit and passersby want to stop. This district is designed and intended to promote the development of an attractive view of the community from Highway 65 through architectural and signage controls, landscaping, screening, building orientation and other features. The proposed restaurant is allowed as a conditional use in the TH-65 Overlay Zoning District.

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.
4. The conditional use will not be injurious to the use and enjoyment of other property within the
 1. immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.
7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.
8. The conditional use complies with the general and specific performance standards as specified by within this Article.

Comprehensive Plan

General Commercial

The purpose of this category is to identify portions of Isanti that contain or should be developed for general commercial use. Examples may include highway-oriented businesses such as fast

food restaurants, convenience stores, gas stations or other auto-oriented businesses. Limited office and services uses are appropriate in these areas as well, depending on scale and location.

Deadline for City Council Action

The City of Isanti received a complete application for this request on February 5, 2018, and it was deemed complete on February 21, 2018. Pursuant to Minnesota State Statutes, the City must act on this request by April 17, 2018.

Attachments

- Resolution 2018-XXX
- Findings of Fact and Conclusion
- Applicant Written Narrative
- Floor Plan
- RIC Properties Report

RESOLUTION NO. 2018-XXX

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR GRANNY
MAYS AT 2 ENTERPRISE AVE NE SUITE D2, CITY OF ISANTI, MN**

WHEREAS, Granny Mays (Jill Hoffman, applicant) has submitted a Conditional Use Permit Application to operate a restaurant at 2 Enterprise Ave NE Suite D2 in the City of Isanti, Minnesota (PID 16.132.0020); and,

WHEREAS, within City of Isanti Zoning Code Section 11, Article 5, Subd. 4(P) a restaurant is a conditional use in the TH-65 Overlay Zoning District; and,

WHEREAS, notice of public hearing was published in the *Isanti County News* on March 7, 2018 and property owners within 350 feet of the subject parcel were notified of the public hearing by letter; and,

WHEREAS, the Isanti Planning Commission has recommended approval of the requested Conditional Use Permit based upon the Findings of Fact and Conclusion as presented with conditions; and,

WHEREAS, the City Council reviewed the requested Conditional Use Permit at the regularly scheduled meeting on April 3, 2018; and,

WHEREAS, the City Council of the City of Isanti has determined that the Conditional Use Permit meets the ordinance requirements necessary for granting approval.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA that it adopts the Findings of Fact and Conclusion related to the requested Conditional Use Permit, and hereby approves the Conditional Use Permit subject to the following conditions:

- 1) All applicable licenses are obtained from the proper authorities.
- 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

This Resolution is hereby approved by the Isanti City Council this 3rd day of April, 2018.

ATTEST:

Mayor George A. Wimmer

Katie Brooks
City Clerk/ Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from Jill Hoffman of Granny Mays for approval of a Conditional Use Permit to operate an restaurant on the property located at 2 Enterprise Ave NE Suite D2, Isanti, Minnesota.

Findings of Fact

1. The applicant is requesting to operate a restaurant at the property located at 2 Enterprise Ave NE Suite D2.
2. The property is zoned "B-2" General District.
3. A Conditional Use Permit is required for restaurants within the "TH-65" Highway 65 Corridor Overlay District.
4. The petitioner submitted a Conditional Use Permit Application, the required application fee and associated materials on February 5, 2018. Staff had reviewed such application and deemed such application complete on February 21, 2018. Pursuant to Minnesota State Statute, the City must act on this request by April 17, 2018 (60-day rule).
5. A public hearing date before the Planning Commission was scheduled for Tuesday, March 20, 2018 at 7:00 p.m. at City Hall within the Council Chambers.
6. Notice of the Conditional Use Permit request was published within the Isanti- County News on Wednesday, March 7, 2018. Notices were sent to all property owners located within 350 feet of the subject property.
7. Section 21, Article 2: Conditional Use Permits, Subdivision 3 (D) of the Zoning Ordinance establishes factors that the judgment of the Planning Commission shall be based upon when reviewing a Conditional Use Permit request as well as Section 21, Article 2: Conditional Use Permits, Subdivision 4 General Performance Standards of the Zoning Ordinance establishes additional general standards that shall be used to evaluate any proposed conditional use permit request.
8. The Planning Commission held a public hearing on the item on March 20, 2018; and all property owners within 350' of the subject property were invited to attend and provide public comment.

Conclusions

1. In review of the standards established in Section 21, Article 2 Conditional Use (D); the following conclusions have been made (*conclusions to each requirement are shown in underlined italics*): The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:
 - A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
As noted, the proposed use for the site would be consistent with the goals and objectives of the comprehensive plan.
 - B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.
The proposed use is a permitted conditional use. It fits the intent of the ordinance and underlying zoning district ("B-2" General Business District).
 - C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.
The restaurant will not be detrimental or endanger the public health, safety, morals, or comfort.

- D. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.
The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor will it impair the property values within the neighborhood.
 - E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
This requirement is met.
 - F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.
Additional public facilities and services are not necessary for the proposed use.
 - G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.
The requested conditional use permit appears to conform to the applicable regulations required for the district and the performance standards outlined within the zoning ordinance. Conditions will be placed on any approval to ensure that the property is developed in accordance to ordinance requirements and the proposed plan provided by the applicant.
 - H. The conditional use complies with the general and specific performance standards as specified by within this Article.
These have been evaluated as part of the findings of fact; and can be found within this document.
3. In review of the standards established in Section 21, Article 2 Conditional Use, Subdivision 4 General Performance Standards; the following conclusions have been made (conclusions to each requirement are shown in underlined italics):
- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.
This site is currently served by a street of sufficient capacity. The proposed conditional use will not change the type or volume of traffic flow for this site.
 - B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.
Access to the site is existing and had been approved at an earlier date.
 - C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.
Not applicable.
 - D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.
Parking exists on site and is sufficient for the proposed use.
 - E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.
Not applicable.
 - F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.
Not applicable.
 - G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.
Landscaping and screening were established with the original site plan.

- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.
There will be no changes to lighting. Approved as part of the original site plan.
- I. The site drainage system shall be subject to the review and approval of the City Engineer.
Not applicable. Approved as part of the original site plan.
- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.
Not applicable. Approved as part of the original site plan.
- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.
Not applicable. Approved as part of the original site plan.
- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.
All signage will be approved through the Zoning Administrator at the time it is submitted.
- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.
The applicant will need to pull the appropriate permits and any appropriate fees must be paid for these permits and inspections completed by the appropriate staff person prior, during, and following construction.
- N. Any applicable business licenses mandated by City Code are approved and obtained.
Not applicable.
- O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.
Not applicable.
- P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformity shall be eliminated.
Not applicable.
- Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein. The following are a list of conditions applicable to the approval of this conditional use:
- 1) All applicable licenses are obtained from the proper authorities.
 - 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

Decision

The Planning Commission held a public hearing on the item at the **March 20, 2018** meeting. The meeting minutes shall be made part of the Findings of Fact.



- Legend**
- City Limits
 - Parcels (3-10-2017)
 - Non Parcel Items
 - Protected Waters - Watercourse
 - Protected Waters - Basin
 - Public Water Basin
 - Public Water Wetland



Disclaimer:
 This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



Real People. Real Solutions.



© Bolton & Menk, Inc - Web GIS 2/28/2018 1:05 PM

Granny Mays Catering
2736 225th Lane NE
Cedar, MN 55011

Re: Written Narrative for Conditional Use Permit
Proposal Site Towns Edge Business Center
2 Enterprise Av NE Suite D2
Isanti, MN 55040

To Planning and Zoning for the City of Isanti.

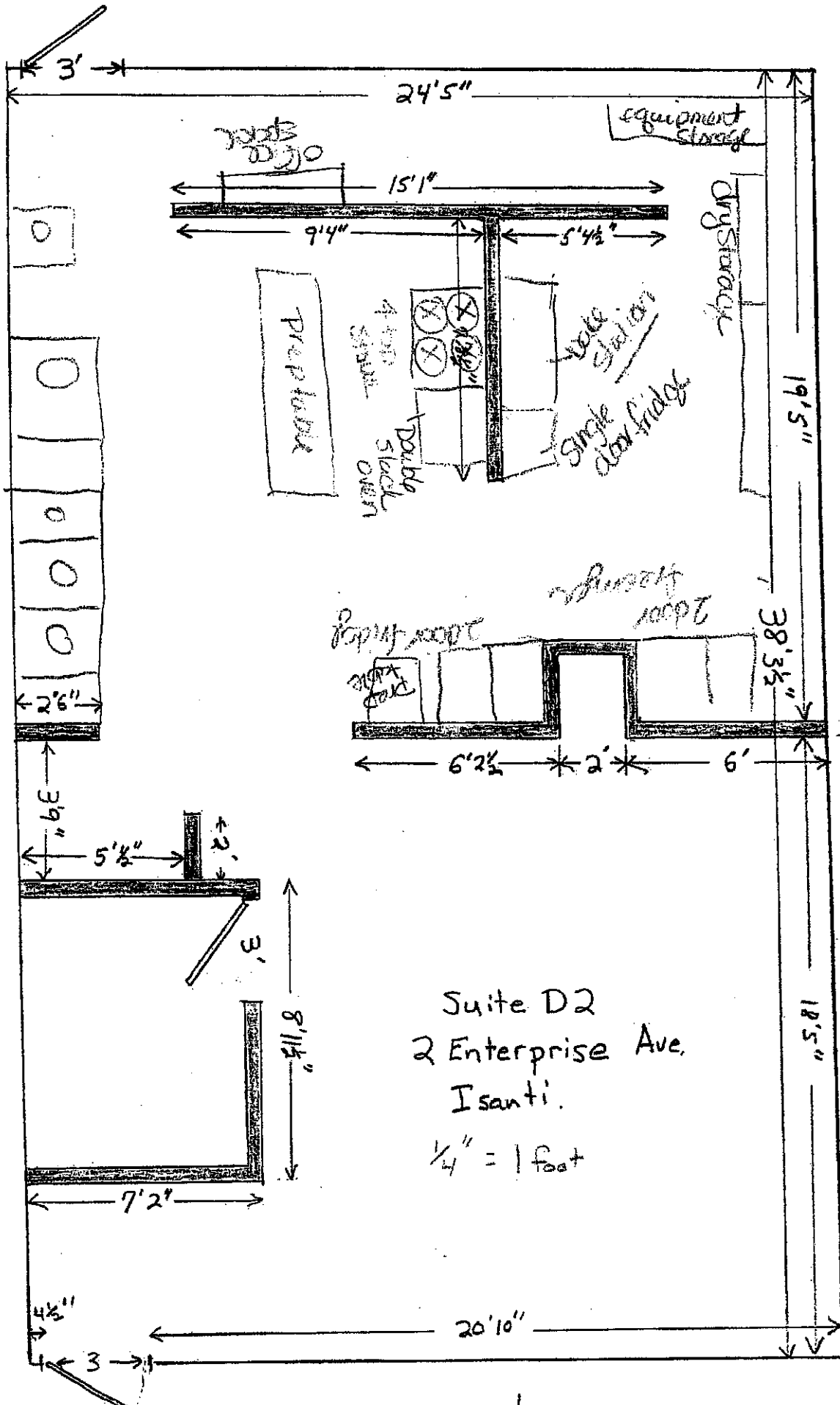
We Tim and Jill Hoffman are requesting a Conditional use permit for the property at Towns Edge Business Center, 2 Enterprise Av NE Suite D2, Isanti, MN 55040. The conditional use permit would be to use current space as a licensed commercial catering kitchen by 4-1-2018. With the possibility of the store front later which is also part of the current site with a possible expansion to Suite D3 in the future if needed.

We have currently been running a catering business in East Bethel MN for 3 years. Focusing on Senior Site Dining, Meal Delivery Service to Senior Apt, Off Site Catering for events for local cities, Chambers, weddings, graduations. We are in search of more space with room to grow and expand our current operations. With expansion we would have a delivery truck that would deliver to surrounding business centers in Isanti, East Bethel and Ham Lake.

The current space was set up for a licensed Cake Shop so the structure has been modified and used as a kitchen. It currently has a hand washing sink, 3 compartment sink, mop sink, prep sink, commercial ventilation system, commercial water heater, and unisex bathroom. (as seen in attachment 1 page 2)

In speaking to Alex Hintz at the Minnesota Dept of Health he stated the current space would be inspected as new construction as the old license was under the Dept of Ag. He saw no real issues based on our conversation. There would be some changes needed to expand the ventilation hood but not a suppression system as there will be no fryer in the proposed structure. And based on a site visit and Health Department Review Application would lay out any other modifications needed to license it as a commercial kitchen.

Please accept the proposal and if there is any additional information need for your decision please contact Jill Hoffman @ 612-850-8215.



Suite D2
 2 Enterprise Ave.
 Isanti.
 1/4" = 1 foot



2 Enterprise Ave NE
Suite D4
Isanti, MN 55040

RETAIL • INDUSTRIAL • COMMERCIAL PROPERTY MANAGEMENT SPECIALISTS
ricproperty.com

11/28/2017

Re: **Granny Mays**
Proposal to Lease: Suite D2
2 Enterprise Ave, Isanti, MN

Dear Jill:

I am pleased to present the following proposal for your consideration.

PREMISES:

Approximately 1000 rentable square feet shown on the attached site plan (Exhibit A).

LANDLORD:

Isanti Mall, LLC

TENANT:

Granny May's

LEASE TERM:

3 years.

<u>BASE RENT:</u>	<u>Months</u>	<u>PSF</u>	<u>Annual Base Rent</u>	<u>Monthly</u>
	1-12	\$10.00	\$10,000.00	\$833.33
	13-24	\$10.30	\$10,300.00	\$858.33
	25-36	\$10.60	\$10,600.00	\$883.33

<u>ADDITIONAL RENT:</u>	<u>PSF</u>	<u>Additional Rent</u>	<u>Monthly</u>

None, Building taxes and insurance are included in Base Rent.

COMMON AREA MAINTENANCE, TAXES AND INSURANCE:

This is a modified gross lease. Tenant will pay all utility costs as well as keep all Building mechanical equipment and interior improvements in good working condition for the term of the lease.

RENT COMMENCEMENT:

Commencement date to be January 1, 2018

TENANT LEASEHOLD IMPROVEMENTS: None by Landlord

Tenant shall be Responsible to construct and pay for all tenant Leasehold improvements, equipment, fixtures, signs and related work per Tenant's plans and specifications. Plans and specifications shall be subject to final Landlord approval.

LANDLORD CONTRIBUTION:

Prior to delivering the Premises to Tenant, Landlord shall, at its expense, perform the work described as Landlord Work in the Landlord's Work Letter (see Exhibit A). All work not described as Landlord's Work shall be tenant's responsibility.

MAINTENANCE OF LEASED AREA:

Tenant shall pay for all maintenance and janitorial within its leased space. Landlord shall provide all exterior and common area maintenance, the cost of which will be prorated among all leasable spaces.

USE OF PREMISES:

Food Preparation, Catering, limited restaurant services

SIGNAGE:

All signs must be approved by Landlord and must also meet City of Isanti requirements.

PARKING AND ACCESS:

As is. It is the Tenants responsibility to confirm that the parking and access is satisfactory for its business.

SECURITY DEPOSIT:

One (1) month's ~~gross~~ rent.
Base

CONTINGENCY:

This proposal is contingent upon Landlord's final review and approval of both Tenant's financial statements and retail concept.

NOTICES TO TENANT ADDRESS:



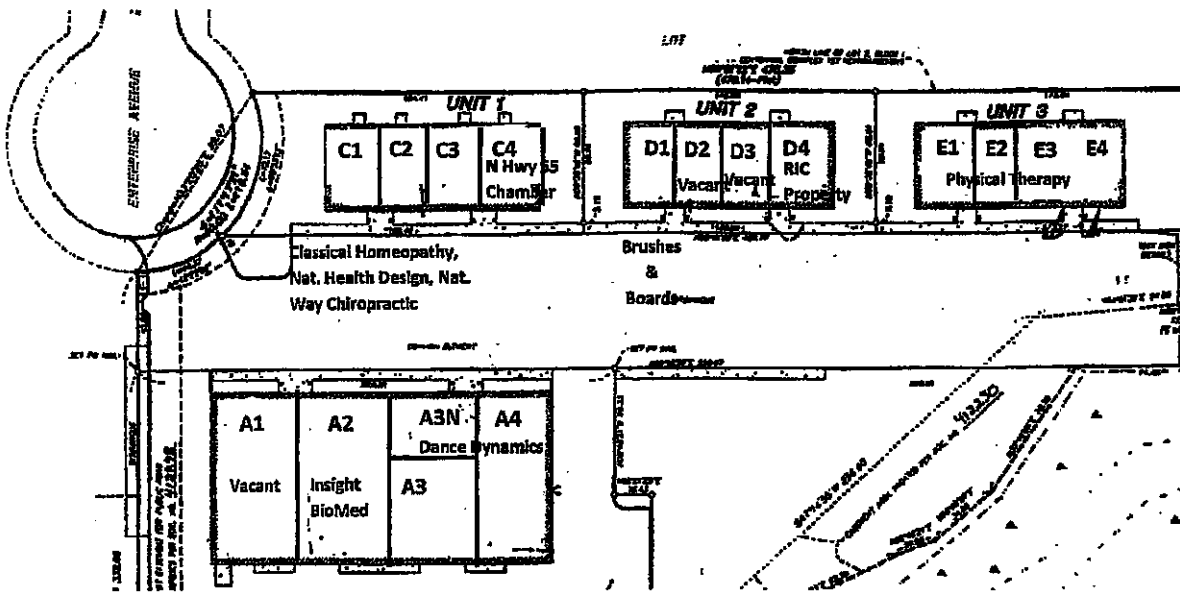
Properties

2 Enterprise Ave NE
Suite D4
Isanti, MN 55040

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ricproperty.com

EXHIBIT A

Premises





Properties

2 Enterprise Ave NE
Suite D4
Isanti, MN 55040

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EXHIBIT B

Landlord's Work

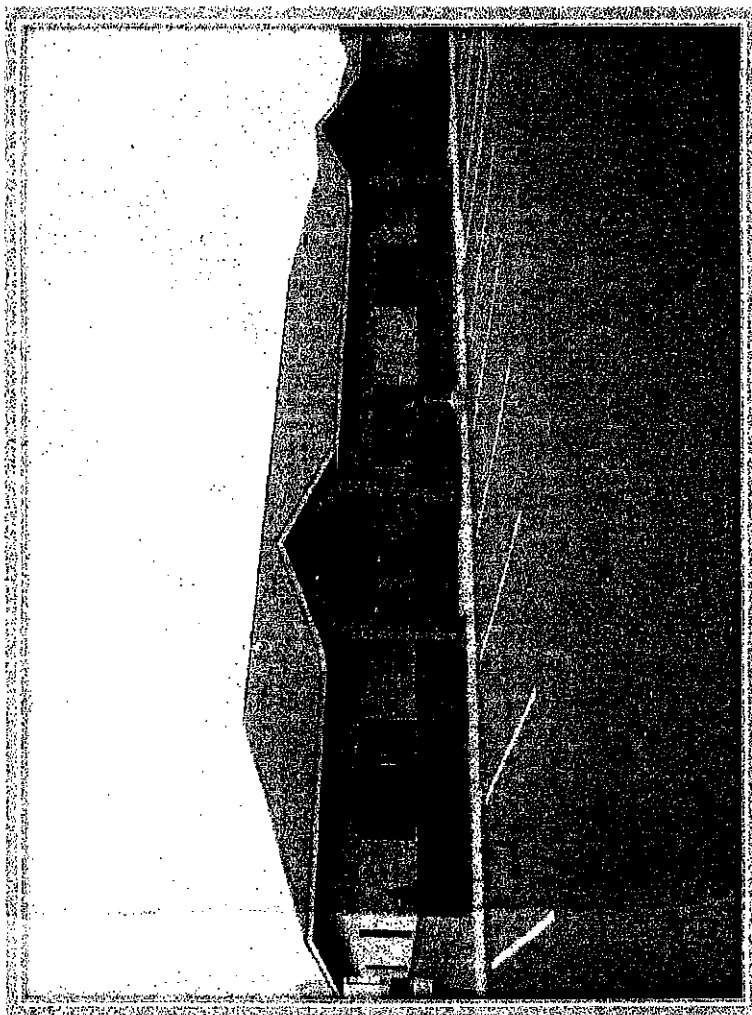
None, Landlord shall deliver the Premises "AS IS" in broom clean condition

RIC Properties

RETAIL • INDUSTRIAL • COMMERCIAL PROPERTY MANAGEMENT SPECIALIST

Towns Edge Business Center
2 Enterprise Ave NE; Isanti, MN 55040

- 24,800 SF
- Available Suites A1 - A3 - C3 - D1 - D2 - D3
- 3200 SF Max - Minimum Divisible 1000 SF
- Built In 2006
- 3 Phase Power
- 40 Parking Spaces
- \$7 - \$10/SF NNN Negotiable Terms
- 2017 CAM \$1.197-\$1.35sf
- 2017 Taxes: \$.43-\$1.39sf



Contact:

Matt Anderson

COMMERCIAL BROKER

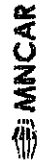
612.327.2977 direct

763.689.0349 office

763.552.5754 fax

Matt@ricproperty.com

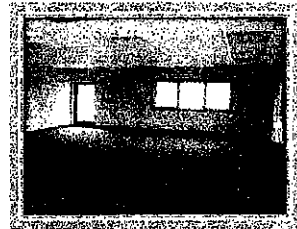
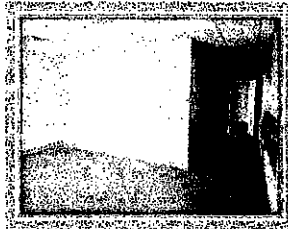
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Properties

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**Interior
Photos**

Contact:
Matt Anderson
COMMERCIAL BROKER
612.327.2977 direct
763.689.0349 office
763.552.5754 fax
Matt@ricproperty.com

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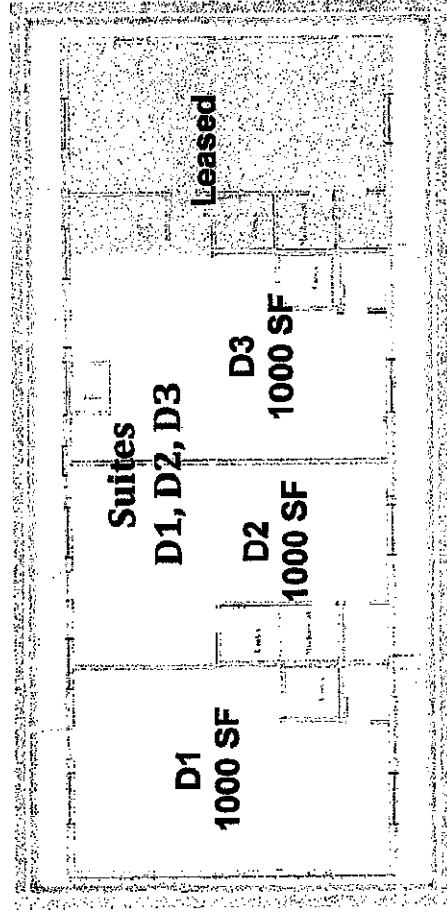
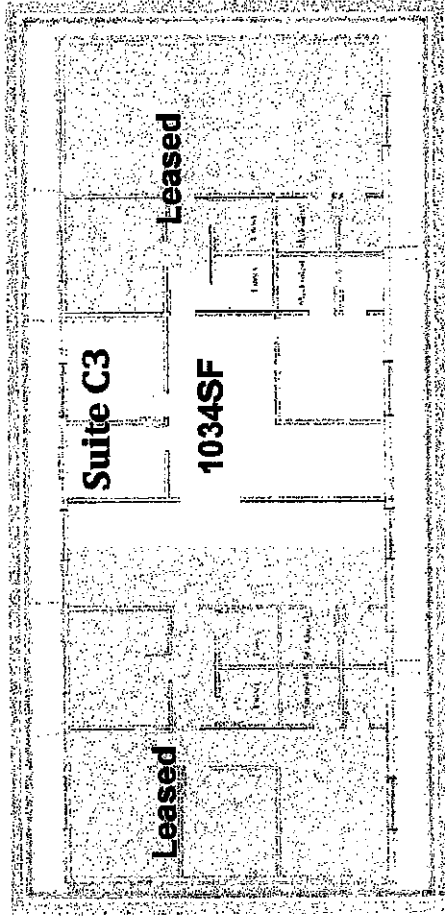
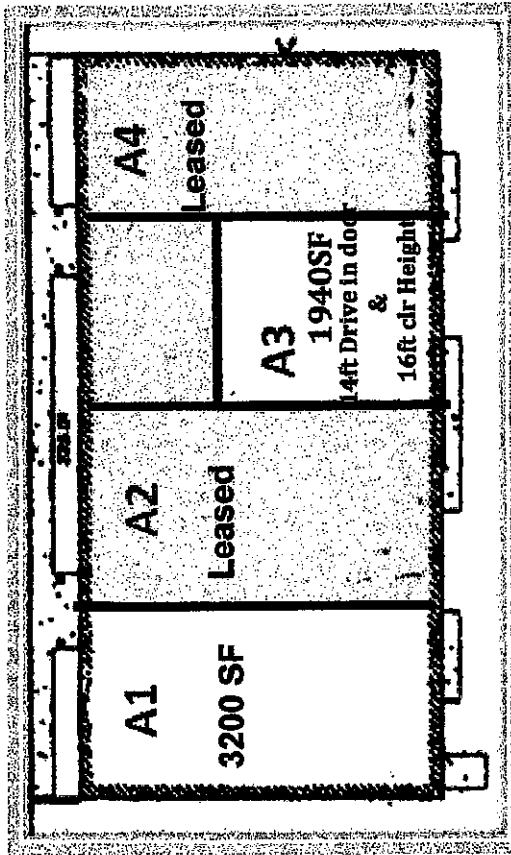




Properties

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Floor Plans

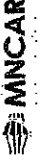


Contact:

Matt Anderson
COMMERCIAL BROKER
 612.327.2977 direct
 763.689.0349 office
 763.552.5754 fax
Matt@ricproperty.com

Suite A3

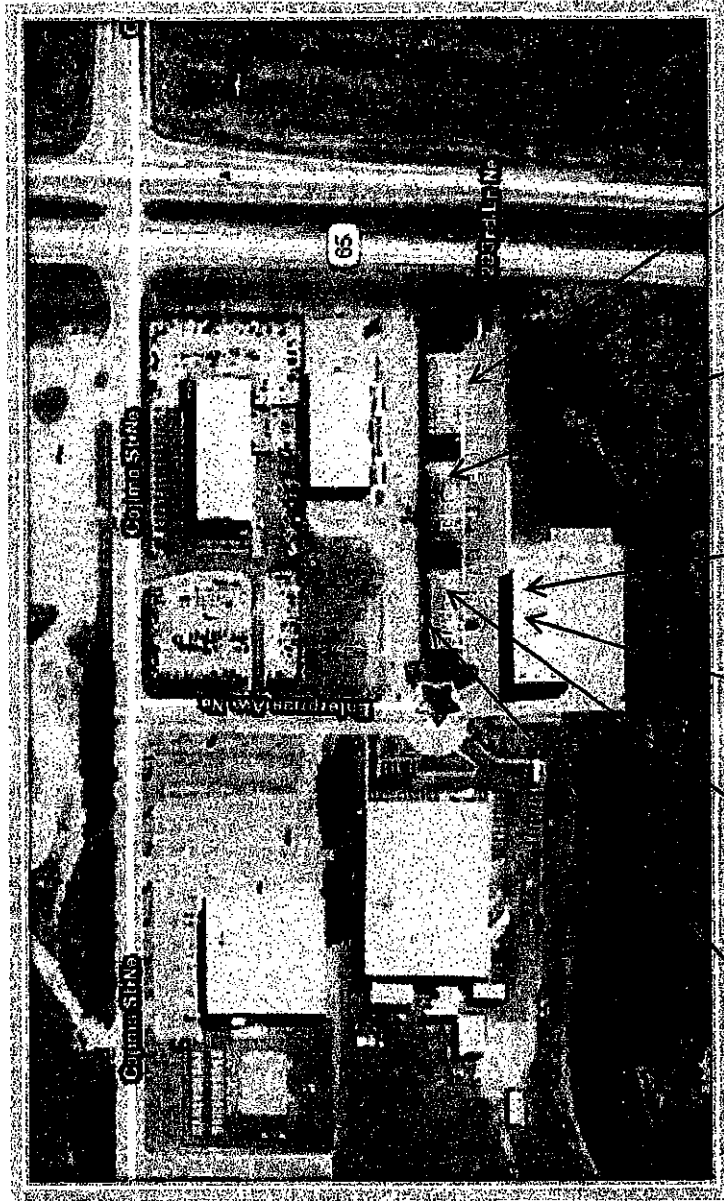
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RIC Properties

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Local
Retail



Classical
Homesody -
Natures Way
Chiropractic -
Natural Health
Design

North 65
Chamber

Insight
Biomed

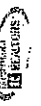
Dance
Dynamics

RIC Property
Management

Physical
Therapy
Consultants

Contact:
Matt Anderson
COMMERCIAL BROKER
612.327.2977 direct
763.689.0349 office
763.552.5754 fax
Matt@ricproperty.com

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A Community For Generations.



3.c.

MEMORANDUM

TO: Members of the Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: March 20, 2018

SUBJECT: **PUBLIC HEARING – INTERIM USE PERMIT TO OPERATE A DOG GROOMING BUSINESS AT 200 9TH AVE SE**

Background

In 2010, Jodi De Tomaso was issued an Interim Use Permit to operate a home occupation for Dog Grooming at 210 Palomino Rd SE in the City of Isanti. During a routine code violation inspection of the Sun Prairie Second Addition Neighborhood (9th Ave NE, across from the Intermediate School) Code Enforcement/Zoning Technician Lindholm noticed that a pet grooming business had been operating at 200 9th Ave NE. Subsequently, a letter notifying Ms. De Tomaso was issued, and research on the previous interim use permit was performed.

In Resolution 2010-202, a condition stated that the interim use was issued to Jodi De Tomaso for the property located at 210 Palomino Rd SE, and that the interim permit would terminate if any of the following events happened: 1) the sale or lease of the property to another renter or owner; 2) the use has been discontinued for one year; 3) the City Council suspends or revokes the interim use permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City Ordinances.

Because the interim use permit was assigned to 210 Palomino Rd SE, and because the business has moved to 200 9th Ave SE, it's appropriate to issue a new interim use permit.

Development and Operations Committee

DOAC discussed this item at the March 8, 2018 committee meeting, the provided the following comments:

1. The petitioner shall make application for and receive approval of any appropriate additional permits (building, plumbing, etc.) from the Building Official related to the home occupation.

2. The petitioner shall obtain any necessary County or State licenses for the business; and copies of such shall be provided to the City.
3. The premises in which the animals will be kept and groomed shall be kept in a clean, sanitary, healthful, and humane manner at all times; and shall be open to inspection by the Animal Warden or other person charged with the enforcement of Chapter 87 of the Isanti City Code or any other health or sanitary regulation of the City at reasonable times. Failure to do so shall constitute grounds for the revocation of the Interim Use Permit.
4. The petitioner shall submit an application for a permanent sign, which meets the requirements of the zoning ordinance for home occupations to be approved by City staff prior to placement on the property.
5. Grooming services shall be by appointment only and shall be limited to six (6) appointments in any given day.
6. Dogs shall be leashed at all times coming both to and from any vehicle arriving for an appointment.
7. The property shall be kept clean. All dog feces shall be picked up and removed from the property on a daily basis.
8. Customers arriving to the salon for services shall park within the driveway.
9. The business shall comply with all other City Ordinances, to include but is not limited to Chapter 216 Nuisances of the Isanti City Code of Ordinances.
10. The Interim Use Permit is granted to Jodi De Tomaso for the property located at 200 9th Ave SE. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for one year; or (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City Ordinances.

Zoning

The property is zoned R-1 Single Family Residential. Within this zoning classification, "Home Occupations" are an interim use.

Home Occupations

City of Isanti Zoning Code Section 13, Article 1, Subd 4 states that the purpose of home occupations is to prevent competition with business districts and to provide a means through the establishment of specific standards and procedures by which home occupations can be conducted in residential and mixed-use neighborhoods without jeopardizing the health, safety, and general welfare of surrounding residential properties. Each home occupation shall comply with the applicable standards so as to ensure that no adverse impact accrue to neighboring properties or infringe upon the rights of adjoining property owners. In addition, it is the purpose of this section to provide a mechanism enabling the distinction between permitted, special, and extended home occupations; so permitted home occupations may be allowed through an administrative review process rather than a legislative hearing process as required for special and extended home occupations.

The Community Development Director, consistent with the previous City Planner's interpretation, has deemed this use as a "Special Home Occupation" which is defined as "Any

gainful occupation or profession engaged within a dwelling unit on the premises by an occupant of the dwelling unit as a use that is clearly incidental to the principal use of the dwelling unit for residential purposes; and which exceed the specific requirements for a permitted home occupation and has been found by its nature, scale, size, location, and other similar conditions to have the likelihood to disturb the peace, comfort, or quiet enjoyment of the indoor or outdoor spaces of neighboring residential properties. Special home occupations, where allowed in the applicable zoning district, may be allowed as an Interim Use subject to the provisions of Section 21, Article 3 of this Ordinance.”

Public Comment

No public comments have been received regarding the proposed interim use permit prior to the release of this staff memo.

Staff Recommendation

Staff recommends **APPROVAL** with the conditions stipulated by DOAC.

Supporting Information

Public Notice

Notice of the Interim Use Permit was published in the official City newspaper, *Isanti County News* on Wednesday March 7th, 2018. Mailed notices were provided to property owners within 350' of the subject property.

General and Specific Requirements

All home occupations shall comply with the following general requirements and according to the applicable definition, the additional requirements depending upon the type of home occupation:

1. General Requirements.

- a. The home occupation shall meet all applicable Fire and Building Codes.
- b. All home occupations shall comply with the provisions of the City Nuisance Ordinance.
- c. No equipment shall be used in the home occupation which will create electrical interference to surrounding properties.
- d. The home occupation shall not constitute a fire hazard to adjacent or nearby residences, or a nuisance to neighbors because of excessive traffic, light, glare, noise, odors, vibrations or other circumstances, as determined by the fire marshal or zoning administrator.
- e. Any home occupation shall be clearly incidental and secondary to the residential use of the premises, should not change the residential character thereof, and shall result in no incompatibility or disturbance to the surrounding residential use.
- f. There shall be no exterior display or exterior signs or interior display or interior signs which are visible from outside the dwelling with the exception of one (1) identification sign not to exceed eight (8) square feet in area and shall meet the requirements as provided in Section 16 of this Ordinance for home business signs. (Ord. No. 595)
- g. Exterior storage or display of equipment, materials, tools, supplies, products or byproducts used or produced in conjunction with the home occupation is prohibited.

- h. Trucks shall not be stored, operated, or maintained in residential districts. Any vehicle used in conjunction with the home occupation shall comply with the Section 17 of this Ordinance and Chapter 227 of the Isanti City Code.
- i. The home occupation shall not include operations relating to internal combustion engines, body shops, ammunition manufacturing, motor vehicle repairs or sales, or any other objectionable uses as determined by the zoning administrator.
- j. All permitted and special home occupations shall be conducted entirely within the living quarters of the principal dwelling and may not be conducted in any portion of the attached garage or within accessory buildings.

Interim Use Permit Requirements

The Planning Commission and City Council shall consider the effect of the proposed use upon the health, safety, and general welfare of occupants of surrounding properties. The Planning Commission and City Council shall consider and make findings regarding the following factors:

- A. The proposed use shall meet the applicable zoning regulations; and
- B. The proposed use will not adversely impact implementation of the Comprehensive Plan; and
- C. The proposed use will terminate upon a date or event that can be identified with certainty; and
- D. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future; and
- E. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit; and
- F. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use.

Special Home Occupation Requirements

- 1. Special home occupations may be allowed to accommodate their parking demand through utilization of on-street parking. In such cases where on-street parking facilities are necessary, however, the City Council shall maintain the right to establish the maximum number of on-street spaces permitted and increase or decrease the maximum number when and where changing conditions require additional review.
- 2. A contract between the refuse handler and the owner shall be provided for all other waste including but not limited to garbage, recyclable material, decayed wood, sawdust, shaving, bark, lime, sand, ashes, oil, tar, chemicals, offal, and all other substances not sewage or industrial waste which may pollute the waters of the state. The contract shall be provided prior to issuance of the interim use permit and shall cite the destruction of waste and shall be renewed annually on or before January 1st of each year.
- 3. Toxic, explosive, flammable, or other restricted materials used, sold, or stored on the site in conjunction with the home occupation must conform to the Isanti City Code and the Uniform Fire Code.

4. Any retail sales must be accessory or incidental to the primary residential use.
5. No person other than a resident shall conduct the home occupation, except where the applicant can satisfactorily prove unusual or unique conditions or need for non-resident assistance and that this exception would not compromise the Zoning Ordinance.

Deadline for City Council Action

The City received a complete application for this request on February 10, 2018, it was deemed complete on February 12, 2018. Pursuant to Minnesota State Statute, the City must act on this request by April 8, 2018 (60 day rule).

Attachments

- Resolution 2018-XXX
- Findings of Fact and Conclusion
- Location Map

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING THE INTERIM USE PERMIT AS REQUESTED BY JODI DE TOMASO TO OPERATE A SPECIAL HOME OCCUPATION FOR DOG GROOMING AT 200 9TH AVE SE (PID 16.141.0050)

WHEREAS, Jodi De Tomaso has applied for an Interim Use Permit to operate a Special Home Occupation for dog grooming on the property at 200 9th Ave SE (PID 16.141.0050); and,

WHEREAS, the property is legally described as Lot 5, Block 1, of Sun Prairie Second Addition; and,

WHEREAS, the property is located within the R-1 Single Family Residential District and an Interim Use Permit is required for Special Home Occupations; and,

WHEREAS, pursuant to Section 21, Article 3, Subd. 4, a public hearing was conducted March 20, 2018 by the City of Isanti City Planning Commission; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval with conditions stipulated in this Resolution and upon the information found in the Facts and Conclusion; and,

WHEREAS, the City Council of the City of Isanti reviewed the requested Interim Use Permit at its regularly scheduled meeting on April 3, 2018.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that it adopts the Findings of Fact and Conclusion related to the requested Interim Use Permit and **BE IT FURTHER RESOLVED** by the City Council of the City of Isanti, Minnesota that the Interim Use Permit as requested by Jodi De Tomaso to operate a Special Home Occupation for dog grooming on the property located at 200 9th Ave SE, legally described as Lot 5, Block 1, Sun Prairie Second Addition be approved, with the following conditions:

1. The petitioner shall make application for and receive approval of any appropriate additional permits (building, plumbing, etc.) from the Building Official related to the home occupation.
2. The petitioner shall obtain any necessary County or State licenses for the business; and copies of such shall be provided to the City.
3. The premises in which the animals will be kept and groomed shall be kept in a clean, sanitary, healthful, and humane manner at all times; and shall be open to inspection by the Animal Warden or other person charged with the enforcement of Chapter 87 of the Isanti City Code or any other health or sanitary regulation of the City at reasonable times. Failure to do so shall constitute grounds for the revocation of the Interim Use Permit.
4. The petitioner shall submit an application for a permanent sign, which meets the requirements of the zoning ordinance for home occupations to be approved by City staff prior to placement on the property.

5. Grooming services shall be by appointment only and shall be limited to six (6) appointments in any given day.
6. Dogs shall be leashed at all times coming both to and from any vehicle arriving for an appointment.
7. The property shall be kept clean. All dog feces shall be picked up and removed from the property on a daily basis.
8. Customers arriving to the salon for services shall park within the driveway.
9. The business shall comply with all other City Ordinances, to include but is not limited to Chapter 216 Nuisances of the Isanti City Code of Ordinances.
10. The Interim Use Permit is granted to Jodi De Tomaso for the property located at 200 9th Ave SE. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for one year; or (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City Ordinances.

Adopted by the Isanti City Council on this 3rd day of April, 2018.

ATTEST:

Mayor George A. Wimmer

Katie Brooks
City Clerk/ Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from Jodi De Tomaso for an Interim Use Permit to operate a Special Home Occupation for dog grooming at the property located at 200 9th Ave SE, legally described as Lot 5, Block 1, Sun Prairie Second Addition.

Findings of Fact

1. The petitioner, Jodi De Tomaso, owns the property on which the applicant is proposing to operate a dog grooming business as a special home occupation.
2. The property, 200 9th Ave SE, is legally described as Lot 5, Block 1, Sun Prairie Second Addition.
3. The property is zoned "R-1" Single Family Residential District, in which Special Home Occupations are considered an Interim Use and regulated by Section 13 of the City of Isanti Zoning Code.
4. The Community Development Director has declared dog grooming as a Special Home Occupation consistent with the definition of the code.
5. The petitioner submitted a complete Interim Use Permit Application on February 12, 2018. Pursuant to Minnesota State Statute, the City must act on this request by April 8, 2018 (60-day rule).
6. A public hearing date before the Planning Commission was scheduled for Tuesday March 20, 2018 at 7:00 pm at City Hall within the City Council Chambers.
7. Notice of the Interim Use Permit was published within the *Isanti County News* on Wednesday March 7, 2018. Notices were sent to all property owners located within 350 feet of the subject property.
8. Section 21, Article 3, Subd. 5 of the Isanti Zoning Code establishes criteria in which the judgement of the Planning Commission and City Council shall be based upon when reviewing an Interim Use Permit. Section 13, Article 1, Subd. 4(D) and (F) establish criteria in which the judgement of the Planning Commission and City Council shall be based upon when reviewing a home occupation and Special Home Occupation.

Conclusions

1. In review of the factors established in Section 21, Article 3, Subd. 5, the following conclusions have been made (*conclusions to each requirement are shown in italics*):
 - a. The proposed use shall meet the applicable zoning regulations
The property is zoned R-1 Single Family Residential. Special home occupations are considered an Interim Use.
 - b. The proposed use will not adversely impact implementation of the Comprehensive Plan
The proposed use is classified as an Interim Use within the R-1 Single Family Residential Zoning District. The proposed use is an interim use and will only continue on the property until such time as one of the items identified as a reason for the termination of the permit has been reached. Should the use terminate; future development on the property could occur in accordance with the goals and policies of the Comprehensive Plan.
 - c. The proposed use will terminate upon a date or event that can be identified with certainty.
The termination of the Interim Use Permit is outlined in the Resolution associated with this Findings of Fact and Conclusion.

- d. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future.
The proposed use will not impose additional costs on the public, either now or in the future.
 - e. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit.
The termination of the Interim Use Permit is outlined in the Resolution associated with this Findings of Fact and Conclusion.
 - f. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use.
The property owner has been notified of all proposed conditions, and has provided the City no objections to the proposed conditions outlined in the Resolution associated with this finding of fact.
2. In review of the factors established in Section 13, Article 1, Subd. 4(D), the following conclusions have been made (*conclusions to each requirement are show in italics*):
- a. The home occupation shall meet all applicable Fire and Building Codes.
The home has been issued a certificate of occupancy.
 - b. All home occupations shall comply with the provisions of the City Nuisance Ordinance.
The City will enforce all provisions of the City Nuisance Ordinance.
 - c. No equipment shall be used in the home occupation which will create electrical interference to surrounding properties.
The proposed home occupation will not create electrical interference to surrounding properties.
 - d. The home occupation shall not constitute a fire hazard to adjacent or nearby residences, or a nuisance to neighbors because of excessive traffic, light, glare, noise, odors, vibrations or other circumstances, as determined by the fire marshal or zoning administrator.
The home occupation does not constitute a fire hazard. This home occupation has been deemed a Special Home Occupation because of potential noise, odors, or other circumstances. Special Home Occupations are permitted through an Interim Use Permit.
 - e. Any home occupation shall be clearly incidental and secondary to the residential use of the premises, should not change the residential character thereof, and shall result in no incompatibility or disturbance to the surrounding residential use.
The home occupation is incidental and secondary to the residential use of the property.
 - f. There shall be no exterior display or exterior signs or interior display or interior signs which are visible from outside the dwelling with the exception of one (1) identification sign not to exceed eight (8) square feet in area and shall meet the requirements as provided in Section 16 of this Ordinance for home business signs. (Ord. No. 595)
A sign permit has been submitted to the City. Staff will ensure that the proposed sign meets the requirements within Section 16.
 - g. Exterior storage or display of equipment, materials, tools, supplies, products or byproducts used or produced in conjunction with the home occupation is prohibited.
No exterior storage or display is proposed.
 - h. Trucks shall not be stored, operated, or maintained in residential districts. Any vehicle used in conjunction with the home occupation shall comply with the Section 17 of this Ordinance and Chapter 227 of the Isanti City Code.

This does not pertain to the request.

- i. The home occupation shall not include operations relating to internal combustion engines, body shops, ammunition manufacturing, motor vehicle repairs or sales, or any other objectionable uses as determined by the zoning administrator.

This does not pertain to the request.

- j. All permitted and special home occupations shall be conducted entirely within the living quarters of the principal dwelling and may not be conducted in any portion of the attached garage or within accessory buildings.

The proposed Special Home Occupation is contained within the attached garage. The City Council may choose to allow this by approving the Interim Use Permit.

3. In review of the factors established in Section 13, Article 1, Subd. 4(F), the following conclusions have been made (*conclusions to each requirement are show in italics*):

- a. Special home occupations may be allowed to accommodate their parking demand through utilization of on-street parking. In such cases where on-street parking facilities are necessary, however, the City Council shall maintain the right to establish the maximum number of on-street spaces permitted and increase or decrease the maximum number when and where changing conditions require additional review.

A condition of the Interim Use Permit is that vehicles are required to park in the Driveway.

- b. A contract between the refuse handler and the owner shall be provided for all other waste including but not limited to garbage, recyclable material, decayed wood, sawdust, shaving, bark, lime, sand, ashes, oil, tar, chemicals, offal, and all other substances not sewage or industrial waste which may pollute the waters of the state. The contract shall be provided prior to issuance of the interim use permit and shall cite the destruction of waste and shall be renewed annually on or before January 1st of each year.

City Code requires refuse service is required in all residential homes. This is met.

- c. Toxic, explosive, flammable, or other restricted materials used, sold, or stored on the site in conjunction with the home occupation must conform to the Isanti City Code and the Uniform Fire Code.

No such materials will be stored on site.

- d. Any retail sales must be accessory or incidental to the primary residential use.

No retail sales are proposed.

- e. No person other than a resident shall conduct the home occupation, except where the applicant can satisfactorily prove unusual or unique conditions or need for non-resident assistance and that this exception would not compromise the Zoning Ordinance.

Ms. De Tomaso is the only employee of the business.

Decision

The Planning Commission reviewed the request in a public hearing on **March 20, 2018**. The meeting minutes shall be made part of the Findings of Fact and Conclusion.

Conditions

1. The petitioner shall make application for and receive approval of any appropriate additional permits (building, plumbing, etc.) from the Building Official related to the home occupation.
2. The petitioner shall obtain any necessary County or State licenses for the business; and copies of such shall be provided to the City.
3. The premises in which the animals will be kept and groomed shall be kept in a clean, sanitary, healthful, and humane manner at all times; and shall be open to inspection by the Animal Warden or other person charged with the enforcement of Chapter 87 of the Isanti City Code or any other

health or sanitary regulation of the City at reasonable times. Failure to do so shall constitute grounds for the revocation of the Interim Use Permit.

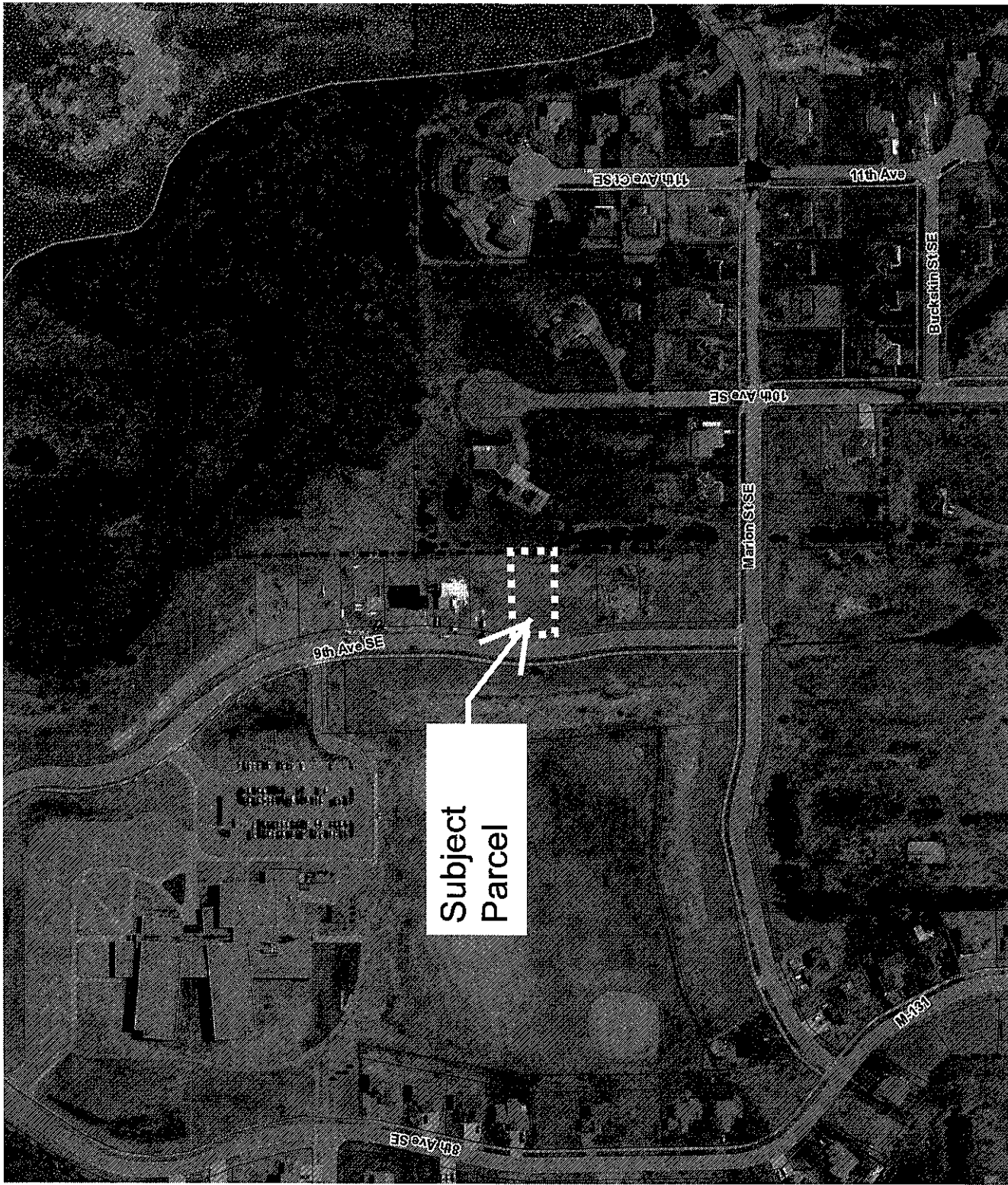
4. The petitioner shall submit an application for a permanent sign, which meets the requirements of the zoning ordinance for home occupations to be approved by City staff prior to placement on the property.
5. Grooming services shall be by appointment only and shall be limited to six (6) appointments in any given day.
6. Dogs shall be leashed at all times coming both to and from any vehicle arriving for an appointment.
7. The property shall be kept clean. All dog feces shall be picked up and removed from the property on a daily basis.
8. Customers arriving to the salon for services shall park within the driveway.
9. The business shall comply with all other City Ordinances, to include but is not limited to Chapter 216 Nuisances of the Isanti City Code of Ordinances.
10. The Interim Use Permit is granted to Jodi De Tomaso for the property located at 200 9th Ave SE. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for one year; or (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City Ordinances.



- Legend**
- City Limits
 - Parcels (3-10-2017)
 - Non Parcel Items
 - Protected Waters - Watercourse
 - Protected Waters - Basin
 - Public Water Basin
 - Public Water Wetland



Disclaimer:
 This drawing is a legally recorded map not a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



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**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, APRIL 17, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the March 20, 2018 Planning Commission

3. Public Hearings
 - A. Request from Kwik Trip, Inc. for a final plat to combine two parcels to create plat "Kwik Trip 1019" for PID 160530010 and PID 160400830.

 - B. Request from Isanti Retail Meats to amend Conditional Use Permit 2008-157 to allow for a sit-down restaurant in conjunction with the existing meat market for the property located at 30 Main Street West, legally described as PID 160500440.

 - C. Request from Taylor Holdings, Inc. for a Minor Subdivision Plat to combine 829 and 827 Whiskey Rd NW into one parcel, parcels legally described as PID 160960970 and 160900960.

 - D. Request from Circle B Ranch for an amendment to a Conditional Use Permit and Site Plan Review of Resolution No. 2017-232 as a result of the administrative subdivision that creates a new parcel of PID 16.006.0505, which would adjust the site plan design and proposed uses of the other parcels.

5. Discussion Items.
 - A. None.

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
March 20, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:18 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley, Jeff Miller.

Members Absent: Jim Kennedy.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no Agenda Modifications, Motion by Lundeen, seconded by Collison to approve, approved unanimously.

2. Approval of the Minutes from the February 20, 2018 Planning Commission

Motion by Collison, seconded by Bergley to approve the minutes from the February 20, 2018 Planning Commission, approved unanimously.

3A. Request from SAC Wireless (on behalf of AT&T Wireless) to amend a Conditional Use Permit to allow the collocation of antennas on an existing telecommunications tower and the construction of an accessory structure on the property at 501 West Dual Boulevard NE (PID 160530080) legally described as Lot 1, Block 3, Dual Industrial Park except beginning at the SW corner of Outlot A, then N5.5800 along W line 426' to NW corner of Outlot A; the W 269.5850 Along N Line of Lot 1, 53'; Then S 178.5010 424.60' to POB.

Mayor Wimmer opened the public hearing at 7:18 pm.

Director Kernosky gave an overview of the proposed Conditional Use Permit by SAC on behalf of AT&T. The proposal is to add additional towers and an accessory structure on the tower and ground. Staff is recommending approval with the conditions stipulated in the Resolution.

Mayor Wimmer closed the public hearing at 7:20 pm.

Motion by Lundeen, seconded by Bergley to approve the amended Conditional Use Permit to allow the collocation of antennas on an existing telecommunications tower and the construction of an accessory structure on the property at 501 West Dual Boulevard NE (PID 160530080) legally described as Lot 1, Block 3, Dual Industrial Park except beginning at the SW corner of Outlot A, then N5.5800 along W line 426' to NW corner of Outlot A; the W 269.5850 Along N

Line of Lot 1, 53'; Then S 178.5010 424.60' to POB. With staff conditions. Motion approved unanimously.

3B Request from Jill Hoffman (dba Granny May's) for a Conditional Use Permit to operate a Restaurant at 2 Enterprise Avenue NE Suite D4 (PID 161320020) legally described as Towns Edge Business Center CIC 2010-1.

Mayor Wimmer opened the Public Hearing at 7:20 p.m.

Director Kernosky provided an overview of the proposed Conditional Use Permit. Kernosky stated that in all of the zoning districts, restaurants are a conditional use. The location is an existing structure, and house a former cake shop. Staff recommends approval with conditions stated in the Resolution.

Jill Hoffman stated she has been operating her business for quite some time. She currently services several senior communities and centers, home delivered meals, and catering for industrial park businesses. She stated that her business has grown and she can no longer operate from her home. Her plan, once the business gets going, she plans to open up the storefront for a restaurant. There is also another suite next door that she could expand to if needed.

Mayor Wimmer closed the Public Hearing at 7:25 p.m.

Motion by Lundeen, seconded by Lorinser to recommend approval of the proposed Conditional Use Permit to operate a Restaurant at 2 Enterprise Avenue NE Suite D4 (PID 161320020) legally described as Towns Edge Business Center CIC 2010-1 with staff conditions. Motion passed unanimously.

3C Request from Jodi De Tomaso (dba Metz Dog Grooming) for an Interim Use Permit for home occupation for dog grooming at 200 9th Ave SE (PID 161410050) legally described at Lot 5, Block 1, Sun Prairie Second Addition.

Mayor Wimmer opened the Public Hearing at 7:25 p.m.

Director Kernosky provided an overview of the request. Kernosky stated that she had been operating the same business in her old property on Palomino Rd. During a regular inspection of that neighborhood, the Code Enforcement Officer noticed that the business had moved. Upon further inspection, the previous interim use permit stated that if the business moved, a new interim use permit would be required to be obtained. Kernosky stated it was a special home occupation permit because the nature of dog grooming, which requires an interim use permit. Staff is recommending approval with conditions in the Resolution. Kernosky stated that the City had no issues pertaining to the previous operation.

Mayor Wimmer inquired whether or not the current neighbors have provided comment. Kernosky stated that no comments or complaints have been received by the City. Mayor Wimmer clarified that they neighbors were notified of the public hearing.

Jodi De Tomaso stated that she bought a new house and is operating her business out of her extra stall garage.

Mayor Wimmer closed the Public Hearing at 7:28 p.m.

Motion by Lundeen, second by Collison to approve an Interim Use Permit for home occupation for dog grooming at 200 9th Ave SE (PID 161410050) legally described at Lot 5, Block 1, Sun Prairie Second Addition with staff conditions. Motion passed unanimously.

4. Discussion Items

There were no items for discussion.

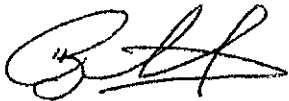
5. Adjournment

Motion by Bergley, second by to Lundeen to adjourn the March 20, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:28 p.m.

Dated at Isanti, Minnesota this 27th day of March, 2018.

Respectfully submitted,




Ryan Kernosky
Community Development Director



A

STAFF REPORT

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: April 17, 2018

SUBJECT: **PUBLIC HEARING – KWIK TRIP FINAL PLAT “KWIK TRIP 1019”**

Background

Kwik Trip Inc. (applicant) has purchased PID 160400830 and PID 160530010 (better known as the former Riverside Market parcels) and has submitted a Final Plat titled “Kwik Trip 1019”, combining the two parcels into one for the construction of the approved Kwik Trip.

Preliminary Plat

The preliminary plat of “Kwik Trip 1019” was approved by the City in December 2017 with the following conditions:

- 1) 60 feet of right of way from the Centerline of CSAH 5 is dedicated to the County.
- 2) Any work in the right of way receive prior approval/permits from the proper entities.

Final Plat

The final plat submitted provides an additional 27’ of CSAH 5 Right of Way, bringing the total Right of Way from the centerline of CSAH 5 to 60’. Utility and drainage easements are retained in the final plat.

Staff Comments

The City and County Engineer have reviewed the final plat. Their comments are provided in the attached pages. Staff recommends **APPROVAL** of the proposed final plat with the following conditions:

- 1) Utility Easement described in Isanti County Document 300498 along the existing (pre- plat) South property line is vacated per MN Stats. §462.358 Subd. 7.
- 2) Upon approval of the Final Plat by the City Council, the City Clerk or his/her designee shall record it with the County Recorder’s Office within ninety (90) days after the date of

approval; otherwise, failure of the applicant to comply and submit the necessary items and fees for the recording of the Final Plat by the City shall be cause for revoking the City's approval and the Final Plat shall be considered void, unless the developer or applicant requests an extension, in writing and receives approval from the City Council. The City Council may approve up to two (2) extensions for a term not to exceed one (1) additional year for each extension. Fees associated with the recording of the Final Plat will be charged back to the developer or subdivider.

- 3) The subdivider shall immediately upon approval, furnish the City Administrator or his/her designee with three (3) full size mylar transparencies of the Final Plat, two (2) for the County and one (1) for the City. Three (3) additional 11 inch by 17 inches mylar transparencies shall be given to the City Planner, the City Clerk, and Isanti County. No building permits shall be issued until these conditions have been complied with.
- 4) Heritage Boulevard Right of Way shall be conveyed to Isanti County.
- 5) Any work in the right of way receive prior approval/permit from the proper entities.

Certification of Taxes Paid

Prior to approving an application for a final plat, certification must be provided to the City that there are no delinquent property taxes, special assessments, penalties, interest, or outstanding municipal utility fees. As of April 11, 2018, all taxes have been paid.

Public Notice

Notice of the public hearing was published in the *Isanti County News* on April 4, 2018. Written notification was provided to property owners located within 350' of the subject site as required by Minnesota State Statute.

Public Comment

No public comment regarding the proposed final plat has been received prior to the release of this staff report.

Deadline for City Council Action

The applicant submitted the application for final plat approval on March 28, 2018, it was deemed complete by staff on March 29, 2018. Per MN Stats. §462.358 subd. 3b, the City must act on this request by July 29, 2018.

Attachments

- Resolution 2018-006
- Resolution 2018-XXX
- Kwik Trip 1019 Final Plat
- Final Plat Kwik Trip 1019 Findings of Fact and Conclusion
- Location Map

RESOLUTION 2018-006

A RESOLUTION APPROVING THE PRELIMINARY PLAT OF KWIK TRIP 1019

WHEREAS, Kwik Trip, Inc. has made application for Preliminary Plat Approval for Kwik Trip 1019; legally described as:

Parcel 1 (PID 16.040.0830):

That part of the Southwest Quarter of the Northwest Quarter (SW 1/4 of NW 1/4) of Section Twenty-nine (29), Township Thirty-five (35), Range Twenty-three (23), Isanti County, Minnesota, described as follows: Commencing at the point of Intersection of the East-West Quarter line of Section 29 with the Easterly right-of-way line of the Burlington-Northern Railroad (formerly known as the Great Northern Railway); thence Easterly on an assumed azimuth of 90 degrees 00 minutes, 30 seconds, along the East-West Quarter line of Section 29, a distance of 834.08 feet; thence Northerly on a azimuth of 358 degrees 50 minutes 10 seconds, a distance of 33.01 feet to the point of beginning of the parcel herein described on the North line of the south 33 feet of the SW 1/4 of NW 1/4 of Section 29; thence continuing Northerly on an azimuth of 358 degrees 50 minutes 10 seconds, a distance of 370 feet; thence Easterly on a azimuth of 90 degrees 00 minutes 30 seconds, parallel with the South line of the SW 1/4 of NW 1/4 of Section 29, a distance of 330 feet to the East line of the SW 1/4 of NW 1/4 of Section 29; thence Southerly on an azimuth of 178 degrees 50 minutes 10 seconds, along said East line, a distance of 370 feet to the North line of the South 33 feet of the SW 1/4 of NW 1/4; thence Westerly on an azimuth of 270 degrees 00 minutes 30 seconds, along said North line. a distance of 330 feet to the point of beginning.

AND

Parcel 2 (PID 16.053.0010):

Lot One (1). Block One (1), Dual Industrial Park. excepting therefrom however, the North 132 feet thereof, Isanti County, Minnesota; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the Preliminary Plat on December 19, 2017; and,

WHEREAS, all required public notices regarding the public hearing were posted and sent to property owners within 350 feet of the subject properties; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval of the Preliminary Plat 'Kwik Trip 1019' with conditions; and,

WHEREAS, the City Council reviewed the Preliminary Plat request at the regularly scheduled meeting on January 2, 2017.


NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Isanti, Minnesota, that it adopts the Findings of Fact and Conclusion related to the requested Preliminary Plat of Kwik Trip 1019.

BE IT FURTHER RESOLVED that the requested Preliminary Plat Approval from Kwik Trip, Inc. be approved with the following conditions:

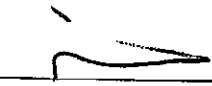
- 1) A total of 60 feet of Right of Way is required to be dedicated along CSAH 5, measured from CSAH 5 centerline, per County Engineer's comments.
- 2) Any work done in the City or County Right of Way must receive permits from the proper jurisdiction.

This Resolution is hereby approved by the Isanti City Council this 2nd day of January, 2018.

Attest:



Katie Brooks
Human Resources/City Clerk



Mayor George A. Wimmer

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING THE FINAL PLAT OF "KWIK TRIP 1019"

WHEREAS, Kwik Trip, Inc. has made application for Final Plat Approval for "Kwik Trip 1019"; which is legally described as Lot 1, Block 1, Kwik Trip 1019, Isanti County, Minnesota; and,

WHEREAS, the City of Isanti has approved the Preliminary Plat of "Kwik Trip 1019" during the regularly scheduled City Council Meeting on January 2, 2018 through Resolution No. 2018-006 with conditions; and,

WHEREAS, said Resolution 2018-006 included conditions that have been met by the applicant; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the Final Plat on April 17, 2018; and,

WHEREAS, all required public notices regarding the public hearing were posted and sent to property owners within 350 feet of the subject properties; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval of the Final Plat "Kwik Trip 1019" with conditions; and,

WHEREAS, the City Council reviewed the Final Plat request at the regularly scheduled meeting on May 1, 2018.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Isanti, Minnesota, that it adopts the Findings of Fact and Conclusion related to the requested Final Plat of Kwik Trip 1019.

BE IT FURTHER RESOLVED that the requested Final Plat Approval for Plat "Kwik Trip 1019" from Kwik Trip, Inc. be approved with the following conditions:

- 1) Utility Easement described in Isanti County Document 300498 along the existing (pre-plat) South property line is vacated per MN Stats. §462.358 Subd. 7.
- 2) Upon approval of the Final Plat by the City Council, the City Clerk or his/her designee shall record it with the County Recorder's Office within ninety (90) days after the date of approval; otherwise, failure of the applicant to comply and submit the necessary items and fees for the recording of the Final Plat by the City shall be cause for revoking the City's approval and the Final Plat shall be considered void, unless the developer or applicant requests an extension, in writing and receives approval from the City Council. The City Council may approve up to two (2) extensions for a term not to exceed one (1) additional year for each extension. Fees associated with the recording of the Final Plat will be charged back to the developer or subdivider.

- 3) The subdivider shall immediately upon approval, furnish the City Administrator or his/her designee with three (3) full size mylar transparencies of the Final Plat, two (2) for the County and one (1) for the City. Three (3) additional 11 inch by 17 inches mylar transparencies shall be given to the City Planner, the City Clerk, and Isanti County. No building permits shall be issued until these conditions have been complied with.
- 4) Heritage Boulevard Right of Way shall be conveyed to Isanti County.
- 5) Any work in the right of way receive prior approval/permit from the proper entities.

This Resolution is hereby approved by the Isanti City Council this 1st Day of May, 2018.

Attest:

Mayor George A. Wimmer

Katie Brooks
Human Resources/City Clerk

FINDINGS OF FACT AND CONCLUSION

Final Plat – “Kwik Trip 1019”

April 17, 2018

Prepared by Community Development Director Ryan Kernosky

Request

Kwik Trip, Inc (applicant) has submitted a Final Plat Approval of the Plat titled *Kwik Trip 1019*, legally described as Lot 1, Block 1, Kwik Trip 1019, Isanti County, Minnesota.

Findings of Fact

1. The applicant has made an application for a Final Plat Approval of Kwik Trip 1019, Isanti County, Minnesota.
2. The applicant, through City of Isanti Resolution 2018-006 has been approved of the Preliminary Plat of Kwik Trip 1019, Isanti County, Minnesota.
3. The property is legally described as:

Lot 1, Block 1, Kwik Trip 1019, Isanti County, Minnesota

4. The applicant is requesting Final Plat Approval to combine two lots into one lot to construct a gas station, convenience store, and car wash.
5. The property is zoned “B-2” General Business District with the Heritage Blvd Overlay.
6. A Final Plat is considered a major change requiring a public hearing and notification of all property owners within 350’; and final approval of the City Council.
7. The applicant submitted the application for Final Plat Application on March 28, 2018. The application was deemed complete on March 29, 2018.
8. A public hearing date before the Planning Commission was scheduled for Tuesday April 17, 2018 at 7:00 p.m. at City Hall within the Council Chambers.
9. Notices were sent to all property owners located within the development and within 350 feet of the subject property.

Conclusions

1. The platting of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the “B-2” General Business District.
2. The platting of the property would appear to meet the Design Standards as required by Ordinance No. 536.
3. Utility Easement described in Isanti County Document 300498 along the existing (pre-plat) South property line is vacated per MN Stats. §462.358 Subd. 7.
4. Upon approval of the Final Plat by the City Council, the City Clerk or his/her designee shall record it with the County Recorder’s Office within ninety (90) days after the date of approval; otherwise, failure of the applicant to comply and submit the necessary items and fees for the recording of the Final Plat by the City shall be cause for revoking the City’s approval and the Final Plat shall be considered void, unless the developer or applicant requests an extension, in writing and receives approval from the City Council.

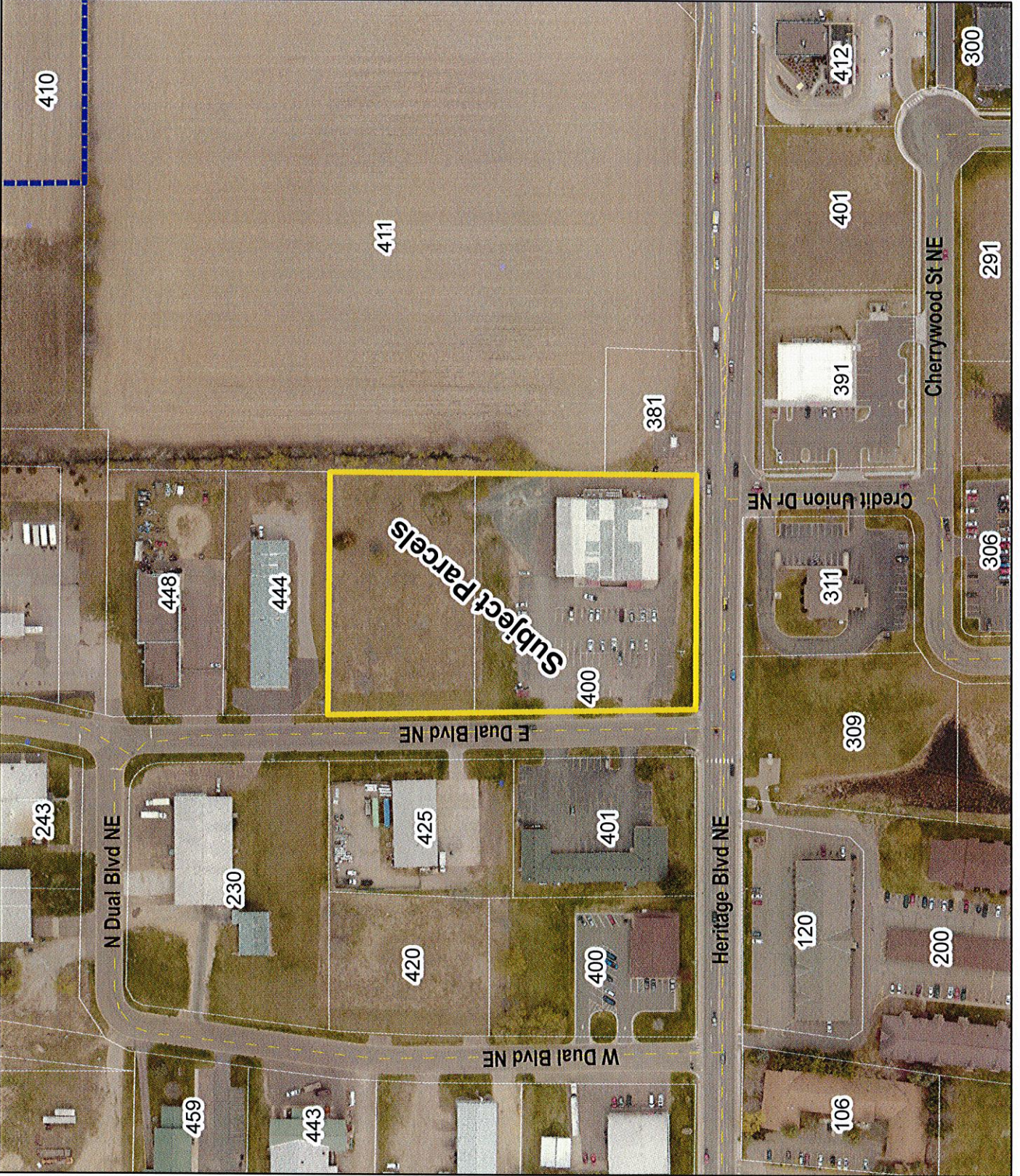
The City Council may approve up to two (2) extensions for a term not to exceed one (1) additional year for each extension. Fees associated with the recording of the Final Plat will be charged back to the developer or subdivider.

5. The subdivider shall immediately upon approval, furnish the City Administrator or his/her designee with three (3) full size mylar transparencies of the Final Plat, two (2) for the County and one (1) for the City. Three (3) additional 11 inch by 17 inches mylar transparencies shall be given to the City Planner, the City Clerk, and Isanti County. No building permits shall be issued until these conditions have been complied with.
6. Heritage Boulevard Right of Way shall be conveyed to Isanti County.
7. Any work in the right of way receive prior approval/permit from the proper entities.

Decision

The Planning Commission held a public hearing on the item at the April 17, 2018 regularly scheduled meeting. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.

Location Map - Public Hearing, Kwik Trip Final Plat



- Legend**
-  City Limits
 -  City Of Isanti Parcels
 -  Subject Parcels
 -  Isanti Roads



Prepared By:
 City of Isanti, MN
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MAP DISCLAIMER:
 This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



B

STAFF REPORT

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: April 17, 2018

SUBJECT: **PUBLIC HEARING – ISANTI RETAIL MEATS CONDITIONAL USE PERMIT AMENDMENT**

Background

Isanti Retail Meats (applicant) has applied for an amendment to the existing Conditional Use Permit (City of Isanti Resolution No. 2008-157) to allow for a sit-down restaurant in conjunction with the existing meat market located at 30 Main Street W (PID 160500440). Per City of Isanti Zoning Code Section 7, Article 1, Subd. 3(L) *Restaurants* are a conditional use in the B-1 Central Business District.

Because Resolution 2008-157 has been approved for the operation of a meat market at the above address, it's required to amend the existing Conditional Use Permit to allow for a Restaurant.

Proposal

The applicant intends to operate a broasted chicken restaurant inside the existing building. The proposal includes a buffet-style layout with the chicken and various sides, and five tables.

B-1 Central Business District Zoning/ D-1 Downtown Overlay District Purpose

The purpose of the "B-1" Central Business District (CBD) is to promote mutually compatible business activities in downtown Isanti. What makes the Central Business District unique from the General Business District is that it is a commercial area that serves as a focal point both culturally and historically for the City of Isanti. Commercial uses, to include but are not limited to retail, office, and service uses; encourage and support pedestrian movement and activity within the Central Business District. To keep and preserve the character of this area, development and redevelopment of parcels within the district shall be architecturally compatible with the existing structures and should be arranged so as to encourage a compact, high density environment. New buildings and renovations to existing buildings should enhance the small town character found within the downtown area.

The purpose of the "D-1" Downtown Overlay District is to provide for the orderly and integrated development of the Central Business District and the surrounding Central Business Transitional District. The Central Business District and surrounding area are fragmented. The Downtown Overlay District will

unite the area and establish standards that take into consideration the unique identity found within this area. It is the purpose of the Article to implement minimum standards that promote high-quality architectural and site design for residential, commercial, and mixed-use buildings and within the downtown overlay district. The standards provided herein are intended to preserve and restore unique and historical buildings; ensure coordinated design of new and existing buildings, minimize adverse impacts on adjacent properties from buildings which may detract from the character and appearance of the district; protect vehicular and pedestrian movements throughout the area; and aid in improving the overall economic viability of the district.

General Performance Standards

As may be applicable, the evaluation of any proposed conditional use permit request shall be subject to and include, but not be limited to, the following general performance standards and criteria (Additional specific standards and criteria may be cited for respective conditional uses, as noted within each particular zoning district. A request shall be evaluated based upon those additional standards and criteria when provided). *City Staff Comments are italicized:*

A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.

The use and site already exist and are serviced by a street of sufficient capacity. It is not expected that the addition of the restaurant will greatly impact the volume nor type of traffic. Existing public right of way is provided, and is of sufficient capacity.

B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.

The existing site has minimal parking (in rear, along alleyway). Because the subject parcel is within the D-1 Downtown Overlay District, they are not required to provide additional parking if the required parking spaces cannot be provided fully on the site, and if there is adequate public or shared lots elsewhere in the Downtown Overlay District. Staff believes that there is adequate public and shared lots elsewhere in the Downtown Overlay District.

C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

This is non-applicable to the request.

D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.

The existing site has minimal parking (in rear, along alleyway). Because the subject parcel is within the D-1 Downtown Overlay District, they are not required to provide additional parking if the required parking spaces cannot be provided fully on the site, and if there is adequate public or shared lots elsewhere in the Downtown Overlay District. Staff believes that there is adequate public and shared lots elsewhere in the Downtown Overlay District.

E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.

Existing loading facilities are provided through the alleyway.

F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.

This is non-applicable to the request.

G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.

This is non-applicable to the request.

H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.

This is non-applicable to the request.

I. The site drainage system shall be subject to the review and approval of the City Engineer.

This is non-applicable to the request.

J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

This is non-applicable to the request.

K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.

The existing business currently practices daily litter control, and provides recycling and trash handling on site.

L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.

A sign permit has not been applied for, however, City Staff and the applicant are currently working on a sign that is in compliance with the aforementioned sign.

M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.

This is non-applicable to the request.

N. Any applicable business licenses mandated by City Code are approved and obtained.

This is non-applicable to the request.

O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

This is non-applicable to the request.

P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.

The proposed use complies with all standards within the B-1 and D-1 zoning district and overlay district, respectively.

Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.

- 1) All applicable licenses are obtained from the proper authorities.
- 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

2008 Comprehensive Plan

The proposed use falls within the CBD Business future land use designation, and within the Mixed Use Overlay designation.

The CBD Business is defined to provide for a variety of retail, service, public and office uses which are compatible with pedestrian movement and generate pedestrian activity in a compact, higher-density environment. Development and redevelopment of this area should be done in a way that is architecturally compatible with existing structures, and that enhances the small-town character and downtown area of Isanti.

Mixed Use is a new land use designation designed for the purpose of allowing a combination of residential units and commercial uses. Buildings can include townhomes, low and high rise apartments, condominiums, and retail/services designed to serve the residential community. Density ranges are normally 10 units per acre and above. The unique aspect to mixed use is the creativity involved in the design. Within a mixed use development a small "community" is created thus architecture, site and landscaping, streets and building placement are important aspects to creating the overall community. Mixed use areas can be newly created subdivisions designed to provide a variety of residential dwellings and commercial spaces with detailed architecture, open spaces and linkages to natural features. Mixed use can also be applied to infill situations where a more creative approach and varied uses in a project is needed. A new zoning category will be required to correspond with the intent of the Mixed Use designation.

Staff Comments

City staff has reviewed the request and believe that it is consistent with the existing zoning and 2008 Comprehensive Plan. As such, I am recommending **APPROVAL** with the following conditions:

- 1) All applicable licenses are obtained from the proper authorities.
- 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

Certification of Taxes Paid

Prior to approving an application for an amendment to a conditional use permit, certification must be provided to the City that there are no delinquent property taxes, special assessments, penalties, interest, or outstanding municipal utility fees. As of April 11, 2018, all taxes have been paid.

Public Notice

Notice of the public hearing was published in the *Isanti County News* on April 4, 2018. Written notification was provided to property owners located within 350' of the subject site as required by Minnesota State Statute.

Public Comment

No public comment regarding the proposed amendment to the conditional use permit has been received prior to the release of this staff report.

Deadline for City Council Action

The applicant submitted the application for the amendment on March 8, 2018. It was deemed complete on March 20, 2018. As such, the City Council must act on the request by May 20, 2018.

Attachments

- Resolution 2008-157
- Resolution 2018-XXX
- Finding of Fact and Conclusion
- Proposed Floor Layout
- Aerial Photo

RESOLUTION NO. 2008-157

A RESOLUTION APPROVING THE CONDITIONAL USE PERMIT AS REQUESTED BY DON FIEDLER, ON BEHALF OF ISANTI CUSTOM MEATS LLC, TO PERMIT A MEAT MARKET ON THE PROPERTY LOCATED AT 30 MAIN STREET WEST

WHEREAS, Don Fiedler, on behalf of Isanti Custom Meats LLC, has applied for a Conditional Use Permit to allow for a meat market on the property at 30 Main Street West; and,

WHEREAS, the property is zoned B-1, Central Business District; which requires a Conditional Use Permit for meat market facilities; and,

WHEREAS, the Planning Commission reviewed and determined that the development proposal did meet the requirements for a Conditional Use Permit and met the requirements of the underlying zoning district; and,


WHEREAS, Planning Commission held a public hearing to consider the Conditional Use Permit Request on June 10, 2008 and voted unanimously to recommend approval of the Conditional Use Permit with conditions; and,

NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota that Don Fiedler's request, on behalf of Isanti Custom Meats LLC for a Conditional Use Permit for the establishment of a meat market on the property located at 30 Main Street West be approved, with the following conditions:


1. The petitioner shall address any concerns presented by the City Administrator.

Adopted by the Isanti City Council on this 17th day of June 2008.

Attest:



Mayor George A. Wimmer



Irene J. Bauer
Assistant City Administrator/City Clerk

(SEAL)

RESOLUTION NO. 2018-XXX

A RESOLUTION AMENDING RESOLUTION NO. 2008-157 TO ALLOW FOR A SIT-DOWN RESTAURANT FOR THE PROPERTY AT 30 MAIN STREET WEST

WHEREAS, Joe Demo, on behalf of Isanti Retail Meats, LLC (applicant), has applied for an amendment to the Conditional Use Permit approved through Resolution No. 2008-157; and,

WHEREAS, Resolution No. 2008-157 approved a Conditional Use Permit to operate a Meat Market at 30 Main Street West, legally described as PID 16.050.0440 and Lots 7, 8, & W1/2 of 9 Block 6 Original Townsite; and,

WHEREAS, the applicant has requested to add a sit-down restaurant within the existing building, and in conjunction with the existing business at the subject address; and,

WHEREAS, the property is zoned "B-1" Central Business District, and is further regulated under the "D-1" Downtown Overlay District; and,

WHEREAS, City of Isanti Zoning Code Section 7, Article 1, Subd. 3(L), *Restaurants* are deemed a Conditional Use within the "B-1" Zoning District.

WHEREAS, the Planning Commission reviewed and determined that the proposed Conditional Use Permit amendment has met the performance standards outlined in Section 21, Article 2, Subd. 4.; and,

WHEREAS, notice of the public hearing was published on April 6, 2018 in the *Isanti County News*, and property owners within 350' were notified by mail of the proposed amendment to the Conditional Use Permit; and,

WHEREAS, the Planning Commission held a public hearing to consider the amendment to the Conditional Use Permit on April 17, 2018; and,

WHEREAS, the Planning Commission has recommended approval of the amendment to the Conditional Use Permit as presented.

NOW, THEREFORE, BE IS RESOLVED, by the City Council of the City of Isanti, Minnesota that the application for an amendment to the Conditional Use Permit to allow for a sit-down restaurant in conjunction with the property at 30 Main Street West is hereby approved with the following conditions:

- 1) All applicable licenses are obtained from the proper authorities.
- 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

Adopted this ____ day of _____, 2018.

ATTEST:

Mayor George A. Wimmer

Katie Brooks
Human Resources/City Clerk

FINDINGS OF FACT AND CONCLUSION

Request

Request from Joe Demo, on behalf of Isanti Retail Meats, LLC to amend Resolution 2008-157 to allow for a sit-down restaurant in conjunction with a meat market at 30 Main Street West.

Findings of Fact

1. The applicant is requesting to operate a restaurant at the property located at 2 Enterprise Ave NE Suite D2.
2. The property is zoned "B-1" Central Business District and is subject to the "D-1" Downtown Overlay District.
3. A Conditional Use Permit is required for restaurants within the "B-1" Central Business District.
4. The petitioner submitted an amendment to the Conditional Use Permit Application, the required application fee and associated materials on March 8, 2018. Staff had reviewed such application and deemed such application complete on March 20, 2018. Pursuant to Minnesota State Statute, the City must act on this request by May 20, 2018 (60-day rule).
5. A public hearing date before the Planning Commission was scheduled for Tuesday, April 17, 2018 at 7:00 p.m. at City Hall within the Council Chambers.
6. Notice of the Conditional Use Permit request was published within the Isanti- County News on Wednesday, April 4, 2018. Notices were sent to all property owners located within 350 feet of the subject property.
7. Section 21, Article 2: Conditional Use Permits, Subdivision 4 General Performance Standards of the Zoning Ordinance establishes additional general standards that shall be used to evaluate any proposed conditional use permit request.
8. The Planning Commission held a public hearing on the item on April 17, 2018; and all property owners within 350' of the subject property were invited to attend and provide public comment.

Conclusions

1. In review of the standards established in Section 21, Article 2 Conditional Use, Subdivision 4 General Performance Standards; the following conclusions have been made (*conclusions to each requirement are shown in underlined italics*):
 - A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided. *The use and site already exist and are serviced by a street of sufficient capacity. It is not expected that the addition of the restaurant will greatly impact the volume nor type of traffic. Existing public right of way is provided, and is of sufficient capacity.*
 - B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance. *The existing site has minimal parking (in rear, along alleyway). Because the subject parcel is within the D-1 Downtown Overlay District, they are not required to provide additional parking if the required parking spaces cannot be provided fully on the site, and if there is adequate public or shared lots elsewhere in the Downtown Overlay District. Staff believes that there is adequate public and shared lots elsewhere in the Downtown Overlay District.*
 - C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles. *This is non-applicable to the request.*
 - D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.

The existing site has minimal parking (in rear, along alleyway). Because the subject parcel is within the D-1 Downtown Overlay District, they are not required to provide additional parking if the required parking spaces cannot be provided fully on the site, and if there is adequate public or shared lots elsewhere in the Downtown Overlay District. Staff believes that there is adequate public and shared lots elsewhere in the Downtown Overlay District.

E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.

Existing loading facilities are provided through the alleyway.

F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.

This is non-applicable to the request.

G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.

This is non-applicable to the request.

H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.

This is non-applicable to the request.

I. The site drainage system shall be subject to the review and approval of the City Engineer.

This is non-applicable to the request.

J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

This is non-applicable to the request.

K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.

The existing business currently practices daily litter control, and provides recycling and trash handling on site.

L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.

A sign permit has not been applied for, however, City Staff and the applicant are currently working on a sign that is in compliance with the aforementioned sign.

M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.

This is non-applicable to the request.

N. Any applicable business licenses mandated by City Code are approved and obtained.

This is non-applicable to the request.

O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

This is non-applicable to the request.

P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.

The proposed use complies with all standards within the B-1 and D-1 zoning district and overlay district, respectively.

Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.

- 1) All applicable licenses are obtained from the proper authorities.
- 2) Any expansions or enlargement of the dining room area be approved through an amended conditional use permit.

Decision

The Planning Commission held a public hearing on the item at the **APRIL 17, 2018** meeting. After the public hearing, the Planning Commission has recommended approval with the conditions stipulated in the attached Resolution.

IRM.

ENTRANCE

MEAT CASE

windows

TABLES

MEAT CASE

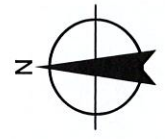
Chicken

SIBC

Location Map - Public Hearing. CUP Amendment, Isanti Retail Meats



- Legend**
-  City Limits
 -  City Of Isanti Parcels
 -  Isanti Roads




Prepared By:
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MAP DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.



C

STAFF REPORT

TO: City of Isanti Planning Commission
FROM: Ryan Kernosky, Community Development Director 
DATE: April 17, 2018
SUBJECT: Minor Subdivision Plat – Taylor Holdings

Background

Taylor Holdings, LLC has submitted a Minor Subdivision Plat application to combine lots 20 & 21, Block 8, Villages on the Rum Third Addition into one parcel. Because the lots had previously been platted, City of Isanti Ordinance 536 requires a minor subdivision be granted by the City of Isanti.

The parcel was previously platted for a zero-lot-line duplex to be constructed on the properties, the applicant is interested in constructing a single-family home on the combined parcels. This area is part of a Planned Unit Development, and as such, any single-family dwelling constructed would have to meet the requirements (size, setbacks, etc.) set forth in that Planned Unit Development.

Staff Comments

This is a simple replat combining two parcels into one parcel. I am recommending **APPROVAL** as presented.

Notice of Public Hearing

The notice of public hearing was published in the *Isanti County News* on April 4, 2018. All property owners within 350' of the subject parcel were also notified by US Postal Service mail.

Attachments

- Resolution 2018-XXX
- Findings of Fact and Conclusions
- Minor Subdivision Certificate of Survey
- Location Map




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MEMORANDUM

Date: April 9, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E. 
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Villages on the Rum III Lot 20 & 21 Minor Subdivision
City of Isanti, MN

We have reviewed the Minor Subdivision of Lots 20 and 21, Block 8, in the Villages on the Rum 3rd Addition, created by Acre Land Surveying and have no comments.

We recommend approval of the Minor Subdivision as submitted.

Please contact me if you have any questions.

RESOLUTION 2018-XXX

A RESOLUTION THROUGH ORDINANCE NO. 536 (SUBDIVISION ORDINANCE), ARTICLE 3, APPROVING THE MINOR SUBDIVISION PLAT OF VILLAGES ON THE RUM THIRD ADDITION

WHEREAS, Taylor Holdings, LLC has made an application for a Minor Subdivision Plat for Villages on the Rum Third Addition, to combine the properties legally described as:

Lot 20, Block 8, Villages on the Rum Third Addition, Isanti County, Minnesota
Lot 21, Block 8, Villages on the Rum Third Addition, Isanti County, Minnesota

WHEREAS, the proposed Minor Subdivision Plat will have a new legal description as:

Lots 20 & 21, Block 8, Villages on the Rum Third Addition, Isanti County, Minnesota

WHEREAS, the proposed Minor Subdivision Plat and any residential construction is subject to the regulations set forth in Isanti County Document No. 318878, "Villages on the Rum Third Addition Planned Unit Development Agreement" between the City of Isanti and Ferraro and Iverson LLC and is binding to future parties; and,

WHEREAS, approval of the Minor Subdivision Plat combines the Preliminary and Final Plat approval process; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the Minor Subdivision Plat on April 17, 2018; and,

WHEREAS, all required public notices regarding the public hearing were posted and sent to property owners within 350' of the subject parcel; and,

WHEREAS, the City of Isanti Planning Commission, after conducting the public hearing during the regularly scheduled Planning Commission meeting on April 17, 2018, has recommended approval of the Minor Subdivision Plat as presented; and,

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Isanti, Minnesota adopts the Findings of Fact and Conclusion related to the requested Minor Subdivision Plat of Villages on the Rum Third Addition and **BE IT FURTHER RESOLVED** that the requested Minor Subdivision Plat is hereby approved.

Adopted by the City of Isanti City Council on this ____ day of _____, 2018.

Mayor George A. Wimmer

ATTEST:

Katie Brooks
Human Resources/ City Clerk

FINDINGS OF FACT AND CONCLUSION

Minor Subdivision Plat – Taylor Holdings, LLC

April 17, 2018

Prepared by Ryan Kernosky, Community Development Director

Request:

Request from Taylor Holdings, LLC to combine lots 20 & 21, Block 8, Villages on the Rum Third Addition, Isanti County, Minnesota.

Findings of Fact:

- 1) The applicant, Taylor Holdings, LLC, has submitted an application for a Minor Subdivision Plat approval for the properties legally described as:

Lot 20, Block 8, Villages on the Rum Third Addition, Isanti County, Minnesota

Lot 21, Block 8, Villages on the Rum Third Addition, Isanti County, Minnesota

- 2) The property is zoned “R-3A” Low-Density Multiple-Family Residential
- 3) The property is subject to additional restrictions imposed in Isanti County Document 318878, *Villages on the Rum Third Addition Planned Unit Development Agreement*.
- 4) The proposed Minor Subdivision Plat combines the Preliminary and Final Plat Public Hearings.
- 5) A Notice of Public Hearing was published in the *Isanti County News* on April 4, 2018.
- 6) Notice of the Public Hearing was sent via USPS to all property owners within 350’ of the subject parcel.
- 7) A public hearing was scheduled for April 17, 2018 immediately following the 7:00 p.m. City Council meeting at City Hall within the Council Chambers.

Conclusions:

- 1) The Minor Subdivision Plat of the property appears to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the R-3A Zoning District.

Decision:

The City of Isanti Planning Commission held a public hearing on the item at the April 17, 2018 meeting. The meeting minutes, staff memo, and exhibits will be made part of the Findings of Fact and Conclusion.

CERTIFICATE OF SURVEY

FOR: TAYLOR HOLDINGS
 ADDRESS: 827 AND 829 WHISKEY ROAD NW, ISANTI

EXISTING LEGAL DESCRIPTIONS

Lot 20, Block 8, VILLAGES ON THE RUM THIRD ADDITION, Isanti County, Minnesota.
 Lot 21, Block 8, VILLAGES ON THE RUM THIRD ADDITION, Isanti County, Minnesota.

PROPOSED LEGAL DESCRIPTION

Lots 20 & 21, Block 8, VILLAGES ON THE RUM THIRD ADDITION, Isanti County, Minnesota.

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- 1011.2 DENOTES EXISTING ELEVATION.
- ohw— DENOTES OVERHEAD WIRE
- x— DENOTES EXISTING FENCE
- DENOTES UTILITY POLE
- [Pattern] DENOTES BITUMINOUS
- [Pattern] DENOTES CONCRETE

NOTES

— BEARINGS & ELEV. SHOWN ARE ON ASSUMED DATUM.
 This survey was prepared without the benefit of title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.

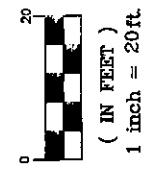
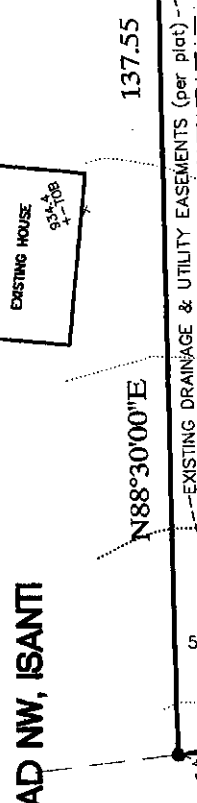
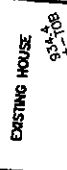
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Joshua P. Schneider

JOSHUA P. SCHNEIDER Date: 3-9-18 Reg. No. 44655

VOTR 3RD

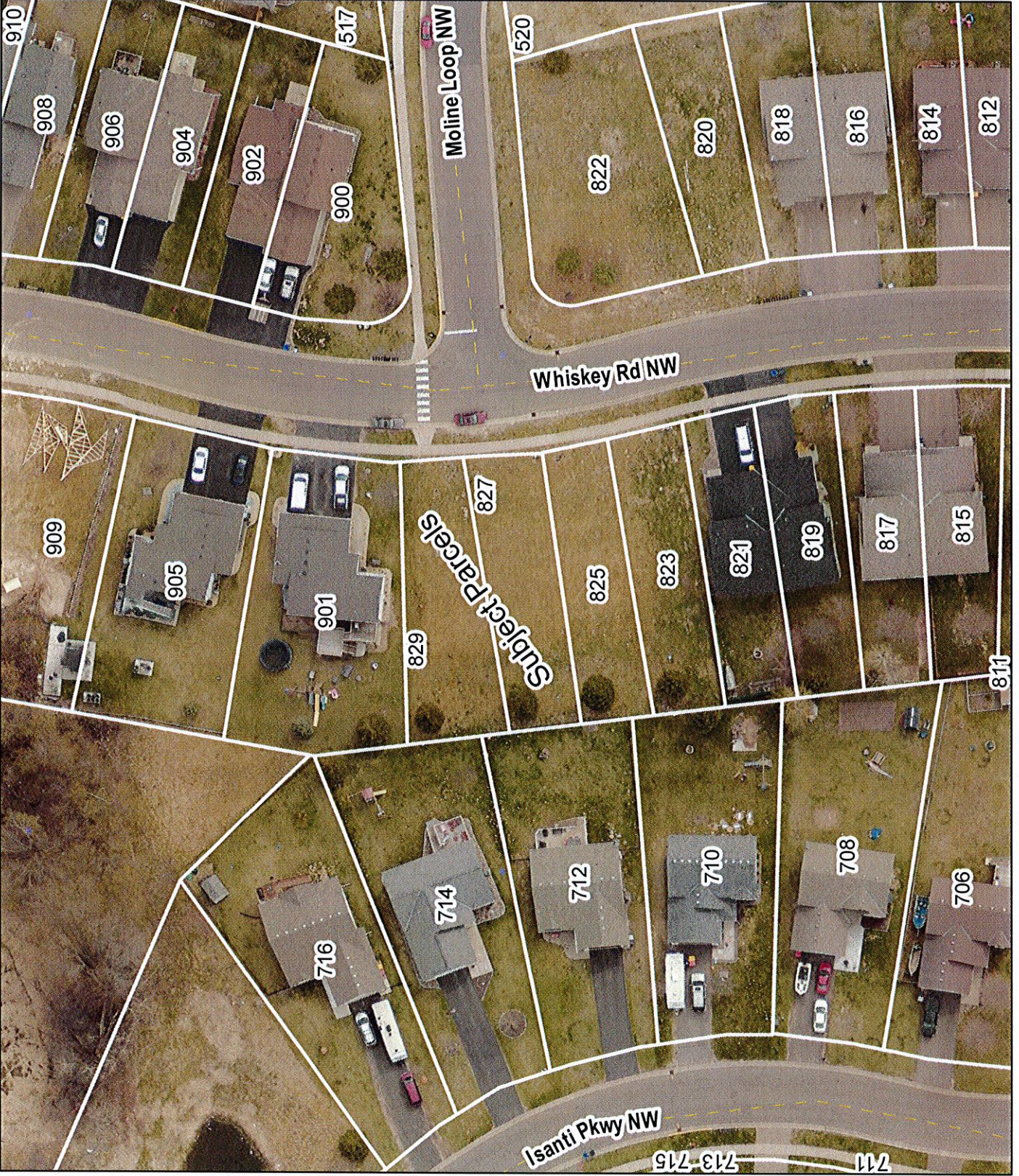
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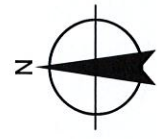
1/4 ACRE LAND SURVEYING
 Elaine, MN 55448
 763-239-6276 jls.acrelandsurveying@gmail.com

JOB#17222

Location Map - Public Hearing, Minor Subdivision Plat Taylor Holdings



- Legend**
-  City Limits
 -  City Of Isanti Parcels
 -  Isanti Roads



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STAFF REPORT

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *RK*

DATE: April 17, 2018

SUBJECT: **PUBLIC HEARING – CIRCLE B RANCH AMENDMENT TO THE
CONDITIONAL USE PERMIT AND SITE PLAN REVIEW OF
RESOLUTION NO. 2017-232**

Background

Circle B Ranch (Brennan Cox, applicant) has submitted an application to amend Resolution No. 2017-232. Resolution 2017-232 approved the original Conditional Use Permit and Site Plan for the operation of a Retreat Center and Hobby Farm on three parcels (PID 050313300, 050313301, and 010060505) that were recently annexed into the City's corporate limits.

It should be noted that since the original Resolution was passed, new PID numbers have been issued to the three parcels. The new PID numbers are listed below, along with a brief description and use of the properties:

Parcel A – PID 160313300 (050313300), 34.9 acres in size, and on the North-side of the three properties. This parcel has an existing home and four sheds on the property. The proposed use would turn the property into a short-term transient rental also known as “The Nest.”

Parcel B – PID 160313301 (050313301), 5 acres in size, abuts Polk St NE and is in between Parcel A and Parcel C. There are no immediate plans for this parcel.

Parcel C – PID 160090505 (010060505), 42 acres in size, and on the South-side of the three properties. This parcel has several existing sheds and the foundation for the proposed event center. This parcel would also include several future lodging options (cabins, car trains), recreational trails, and hobby farm activities.

Mr. Cox has informed the City that, in order to obtain financing for the project, the proposed Event Barn (PID 160090505) will have to be on its own parcel, thereby removing it from the rest of 42 acre parcel. The lot division can be approved through an Administrative Subdivision (not requiring a public hearing or City Council approval). Because of the newly created setbacks and

general lot layout, an amendment to the Conditional Use Permit and Site Plan is required under Section 21, Article 2, Subd. 5 and Section 18, Subd. 13 of the Isanti Zoning Code.

Conditional Use Permit Standards

As may be applicable, the evaluation of any proposed conditional use permit request shall be subject to and include, but not be limited to, the following general performance standards and criteria (Additional specific standards and criteria may be cited for respective conditional uses, as noted within each particular zoning district. A request shall be evaluated based upon those additional standards and criteria when provided):

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.
The site is serviced by a street that may not be of sufficient capacity. This concern has been expressed by the Athens Township. The applicant may be responsible for future public infrastructure improvements in the Right of Way if deemed necessary by the City of Isanti.
- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.
Sufficient access points have been provided for this site. Parking needs to meet Section 17 of the ordinance (surfacing, and minimum required stalls for "The Nest").
- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.
Proposed pedestrian circulation appears to be sufficient.
- D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.
Adequate off-street parking is provided on site. Parking needs to meet Section 17 of the ordinance (surfacing, and minimum required stalls for "The Nest").
- E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.
The proposed project does not include any drive-thru facilities
- F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.
The applicant has proposed a tree buffer along the North Property Line of PID 050313300.

- G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.
No additional landscaping is required.
- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.
No lighting plan has been submitted, however a condition of the permit will include restrictions on lighting.
- I. The site drainage system shall be subject to the review and approval of the City Engineer.
Site drainage has been submitted and reviewed by the City Engineer. Applicant is working with Engineer to comply with requirements.
- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.
Under Section 10, Article 1, Subdivision 8: "The City Council may approve an alternative approach to meeting any of the design standards in this Section if an applicant demonstrates such modifications is necessary to respond to site conditions, will result in better integration of uses, or provide significant site amenities, buffers, and other elements to offset any potential harmful effect that could be caused by the use and will further the intent of this section." This section is met.
- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.
Trash receptacles will be located on the properties.
- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.
No formal signage has been submitted. Any proposed signage would require review and approval by the City staff to ensure compliance with the City Sign Code.
- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.
The property complies with other laws and regulations.
- N. Any applicable business licenses mandated by City Code are approved and obtained.
A liquor license will need to be obtained for the Event Center.

- O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.
Not applicable.
- P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformity shall be eliminated.
The use complies with the applicable performance standards as further outlined in Section 13 Use Regulations of this Ordinance.
- Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.

Site Plan Standards

In evaluating a site and building plan, Staff and City Council shall consider its compliance with the following:

- A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan.
The proposed Site Plan/Building Appearance is consistent with the comprehensive plan.
- B. Consistency with City Codes.
The proposed Site Plan/Building Appearance is consistent with City Codes, with the exceptions discussed in the Staff Memo dated April 17, 2018.
- C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.
The purpose of the "RC" Recreational Commercial zoning district is to encourage site development that takes into consideration the natural state of the property. This project is very consistent with this standard.
- D. The amount and location of open space and landscaping.
The proposed Site Plan/Building Appearance includes landscaping and open space that far exceeds minimums necessary.
- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.
Vehicular and pedestrian circulation within the property appears to be sufficient. The applicant will have to submit an updated parking plan when the parking lot will become paved.
- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air

and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

The proposed Site Plan/Building Appearance was reviewed by the City Engineer, their comments should be included in the required conditions of this approval.

- G. Consistency with the City's Engineering Design standards as adopted by Resolution of the City Council.

The proposed Site Plan/Building Appearance was reviewed by the City Engineer, their comments should be included in the required conditions of this approval.

Certification of Taxes Paid

Prior to approving an application for a conditional use permit, certification must be provided to the City that there are not any delinquent property taxes, special assessments, penalties, interest, or outstanding municipal utility fees. City staff did verify with Isanti County all taxes associated with the property were current.

Public Notice

Notice was published within the Isanti County News on April 4, 2018. Written notification was provided to property owners located within 350' of the subject site as required by Minnesota State Statute.

Public Comment

To date, no public comment or questions had been received.

Staff Comments

The proposed uses do not change for this development, and the overall performance standards are consistent with the previously approved conditional use permit and site plan approval. Because the new parcel triggers a required amendment, this request is pretty straight forward. As such, I am recommending **APPROVAL** with the following conditions:

- 1) Administrative Subdivision to create Parcel D is recorded with the Isanti County.
- 2) Handicapped parking stalls and paths leading to entryways and exits must be surfaced with either asphalt, concrete, or other surface materials as approved by the American Disabilities Act prior to a certificate of occupancy being issued for PID 160060505.
- 3) Proposed parking lot on PID 160060505 must be surfaced within five years. The applicant must submit a letter of credit to the City to ensure the aforementioned condition is met within the five-year timeline and must submit engineered plans to be reviewed and that comply with Section 17 of the Zoning Code.
- 4) Parking Stalls are to be installed on PID 160313300 and must comply with Section 17 of the Zoning Code. The applicant will be required to submit engineered plans for review prior to installing the aforementioned parking stalls.

- 5) The applicant must adhere to the City Engineer's comments from the memo dated July 26, 2017 and complete all proposed stormwater management controls prior to the Certificate of Occupancy being issued.
- 6) Exterior lighting must be downward directed, night-sky friendly, and may not spill over onto adjacent properties.
- 7) The property owner, and any subsequent property owners, are responsible for the installation and cost of roadway improvements, which may include turning lanes, on Polk Street NE if deemed necessary by the City of Isanti. Said improvements must meet City engineering standards.
- 8) Resubmittal and approval shall be required for any future construction of buildings, train cars, decks, etc.. to ensure compliance with the City of Isanti Zoning Code and Building Codes.
- 9) All applicable permits and licenses must be obtained from the property authorities (Army Corps of Engineers, State of Minnesota, County of Isanti, City of Isanti).

Attachments

- Resolution 2017-232
- Resolution 2018-XXX
- Finding of Fact and Conclusion
- Proposed Lot Split
- Engineering Memo Dated 7/26/2017

RESOLUTION 2017-232

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT (CUP) AND SITE PLAN REVIEW (SPR) FOR BEVERLY COX VANRUDEN, AND BRENNAN AND REBECCA COX TO OPERATE A RETREAT CENTER AND HOBBY FARM ON PROPERTY ID NUMBERS 050313300, 050313301, AND 010060505

WHEREAS, Beverly Cox VanRuden owns the property at 27868 Polk Street Northeast (PID 050313300), more legally described as:

The Southeast Quarter of the Southeast Quarter (SE 1/4) of SE 1/4 of Section Thirty-one (31), Township Thirty-five (35), Range Twenty-three (23), EXCEPTING THEREFROM the following described parcel: The East 552.75 feet of the South 396 feet of the SE1/4 of SE1/4 of Section 31, Township 35, Range 23, Isanti County, Minnesota.

WHEREAS, Brennan and Rebecca Cox own PID 050313301, more legally described as:

The East 552.75 feet of the South 396 feet of the SE1/4 of SE1/4 of Section 31, Township 35, Range 23, Isanti County, Minnesota.

WHEREAS, Brennan and Rebecca Cox also own PID 010060505, more legally described as:

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting therefrom that part of said NE1/4 of Section 6, described as follows:

Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line of said railroad right-of-way and to the South line of the NE1/4 of said Section 6; thence Easterly along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate, Except the Northerly 243.75 of the Southerly 482.10 feet of the Easterly 547.29 feet and the Southerly 238.35 feet of the Easterly 592.87 feet.

WHEREAS, PID 050313300 and PID 050313301 were annexed through Resolution 2017-118, and were not assigned a specific zoning district when they were annexed into the corporate limits of the City of Isanti; and,

WHEREAS, pursuant with Section 3, Subdivision 3, Paragraph B, PID 050313300 and PID 050313301 are designated within the "R-1" Single-Family Residential Zoning District; and,

WHEREAS, PID 050313300 and PID 050313301 will need to be rezoned from “R-1” Single-Family Residential to “RC” Recreational Commercial at a later date; and,

WHEREAS, PID 010060505 was annexed through Ordinance No. 661, and was designated as an “RC” Recreational Commercial Zoning District; and,

WHEREAS, *Retreat Center* and *Hobby Farms* are conditional uses within the “RC” Recreational Commercial Zoning Classification; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the proposed Conditional Use Permit on August 15, 2017; and,

WHEREAS, the City of Isanti Planning Commission recommended approval of the proposed Conditional Use Permit subject to the conditions as listed below; and,

WHEREAS, the City of Isanti City Council reviewed the requested Conditional Use Permit and Site Plan Review at its regularly scheduled meeting on September 5, 2017; and,

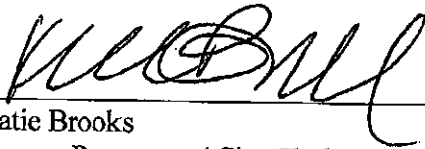
NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota that it adopts the Findings of Fact and Conclusions related to the requested Conditional Use Permit and Site Plan Review adopted by the City Planning Commission on August 15th, 2017, and **BE IT FURTHER RESOLVED** that the request Conditional Use Permit and Site Plan Review for the proposed Hobby Farm and Retreat Center be here by approved with the following conditions:

- 1) PID 050313300 and PID 050313301 must be rezoned from “R-1” Single-Family Residential to “RC” Recreational Commercial.
- 2) Handicapped parking stalls and paths leading to entryways and exits must be surfaced with either asphalt, concrete, or other surface materials as approved by the American Disabilities Act prior to a certificate of occupancy being issued for PID 010060505.
- 3) Proposed parking lot on PID 010060505 must be surfaced within five years. The applicant must submit a letter of credit to the City to ensure the aforementioned condition is met within the five-year timeline, and must submit engineered plans to be reviewed and that comply with Section 17 of the Zoning Code.
- 4) Parking Stalls are to be installed on PID 050313300 and must comply with Section 17 of the Zoning Code. The applicant will be required to submit engineered plans for review prior to installing the aforementioned parking stalls.
- 5) The applicant must adhere to the City Engineer’s comments from the memo dated July 26, 2017 and complete all proposed stormwater management controls prior to the Certificate of Occupancy being issued.
- 6) Exterior lighting must be downward directed, night-sky friendly, and may not spill over onto adjacent properties.


- 7) The property owner, and any subsequent property owners, are responsible for the installation and cost of roadway improvements, which may include turning lanes, on Polk Street NE if deemed necessary by the City of Isanti. Said improvements must meet City engineering standards.
- 8) The foundation installed for the purposes of constructing the event barn needs to be inspected by the City Building Official to ensure proper installation prior to building permits being issued for future construction.
- 9) Resubmittal and approval shall be required for any future construction of buildings, train cars, decks, etc., to ensure compliance with the City of Isanti Zoning Code and Building Codes.
- 10) All applicable permits and licenses must be obtained from the property authorities (Army Corps of Engineers, State of Minnesota, County of Isanti, City of Isanti).

This Resolution is hereby approved by the Isanti City Council this 5th day of September 2017.

Attest:



Katie Brooks
Human Resources / City Clerk



Mayor George A. Wimmer

RESOLUTION 2018-XXX

A RESOLUTION AMENDING RESOLUTION 2017-232, A RESOLUTION APPROVING A CONDITIONAL USE PERMIT (CUP) AND SITE PLAN REVIEW (SPR) FOR BEVERLY COX VANRUDEN, AND BRENNAN AND REBECCA COX TO OPERATE A RETREAT CENTER AND HOBBY FARM ON PROPERTY IDENTIFICATION NUMBERS 160313300, 160313301, 160060505

WHEREAS, Ordinance No. 661 annexed 41.99 acres owned by Brennan and Rebecca Cox pursuant to MN Stats. § 414.033, Subd. 2(3) from the Athens Township to the City of Isanti; and,

WHEREAS, the Parcel Identification Number (PID) 010060505 was re-assigned to PID 160060505 as a result of the annexation; and,

WHEREAS, Joint Resolution No. 2017-118 annexed 39.9 acres owned by Beverly VanRuden Cox and Brennan Cox pursuant to MN Stats. § 414 .0325, Subd. 1 from the Isanti Township to the City of Isanti; and,

WHEREAS, PID 050313300 was re-assigned to PID 160313300, and PID 050313301 was re-assigned to PID 160313301 as a result of the annexation; and,

WHEREAS, PID 160313300 is legally described as:

The Southeast Quarter of the Southeast Quarter (SE 1/4) of SE 1/4) of Section Thirty-one (31), Township Thirty-five (35), Range Twenty-three (23), EXCEPTING THEREFROM the following described parcel: The East 552.75 feet of the South 396 feet of the SE1/4 of SE1/4 of Section 31, Township 35, Range 23, Isanti County, Minnesota.

WHEREAS, PID 160313301 is legally described as:

The East 552.75 feet of the South 396 feet of the SE1/4 of SE1/4 of Section 31, Township 35, Range 23, Isanti County, Minnesota.

WHEREAS, PID 160060505 is legally described as:

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting therefrom that part of said NE1/4 of Section 6, described as follows:

Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line

of said railroad right-of-way and to the South line of the NE1/4 of said Section 6; thence Easterly along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate, Except the Northerly 243.75 of the Southerly 482.10 feet of the Easterly 547.29 feet and the Southerly 238.35 feet of the Easterly 592.87 feet.

WHEREAS, the applicant has submitted, and been approved for, an Administrative Subdivision of PID 160060505 to create two parcels legally described as:

Parcel A

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting therefrom that part of said NE1/4 of Section 6, described as follows: Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line of said railroad right-of-way and along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate,

EXCEPT

The Northerly 350.00 feet of the Southerly 832.10 feet of the Easterly 770.00 feet AND the Northerly 243.75 feet of the Southerly 482.10 feet of the Easterly 547.29 feet AND the Southerly 238.35 feet of the Easterly 592.87 feet.

Parcel D

The Northerly 620.00 feet of the Southerly 1102.10 feet of the Easterly 880.00 feet of the following described property.

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting therefrom that part of said NE1/4 of Section 6, described as follows: Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line of said railroad right-of-way and to the South line of the NE1/4 of said Section 6; thence Easterly along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the

East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate

WHEREAS, the subject parcels are zoned "RC" Recreational Commercial; and,

WHEREAS, *Retreat Center* and *Hobby Farms* are conditional uses within the "RC" Recreational Commercial Zoning Classification; and,

WHEREAS, the City of Isanti has approved a Conditional Use Permit and Site Plan Approval during the regularly scheduled meeting on September 5, 2017 through Resolution 2017-232; and,

WHEREAS, the creation of a new parcels described above calls for an amendment to be approved by the City of Isanti through Section 21, Article 2, Subd. 5 and Section 18, Subd. 13 of the City of Isanti Zoning Code; and,

WHEREAS, the applicant has applied for an amendment to the Conditional Use Permit and Site Plan Approval as required; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the proposed Conditional Use Permit on April 17, 2018; and,

WHEREAS, the City of Isanti Planning Commission recommended approval of the proposed Conditional Use Permit subject to the conditions as listed below; and,

WHEREAS, the City of Isanti City Council reviewed the requested Conditional Use Permit and Site Plan Review at its regularly scheduled meeting on May 1, 2018.

NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota that it adopts the Findings of Fact and Conclusions related to the requested amended Conditional Use Permit and Site Plan Review adopted by the City Planning Commission on April 17, 2018, and **BE IT FURTHER RESOLVED** that the requested amendment for the Conditional Use Permit and Site Plan Review for the proposed Hobby Farm and Retreat Center be here by approved with the following conditions:

- 1) PID 160313300 and PID 160313301 must be rezoned from "R-1" Single-Family Residential to "RC" Recreational Commercial.
- 2) Handicapped parking stalls and paths leading to entryways and exits must be surfaced with either asphalt, concrete, or other surface materials as approved by the American Disabilities Act prior to a certificate of occupancy being issued for PID 160060505.
- 3) Proposed parking lot on PID 160060505 must be surfaced within five years. The applicant must submit a letter of credit to the City to ensure the aforementioned condition is met within the five-year timeline, and must submit engineered plans to be reviewed and that comply with Section 17 of the Zoning Code.

- 4) Parking Stalls are to be installed on PID 160313300 and must comply with Section 17 of the Zoning Code. The applicant will be required to submit engineered plans for review prior to installing the aforementioned parking stalls.
- 5) The applicant must adhere to the City Engineer's comments from the memo dated July 26, 2017 and complete all proposed stormwater management controls prior to the Certificate of Occupancy being issued.
- 6) Exterior lighting must be downward directed, night-sky friendly, and may not spill over onto adjacent properties.
- 7) The property owner, and any subsequent property owners, are responsible for the installation and cost of roadway improvements, which may include turning lanes, on Polk Street NE if deemed necessary by the City of Isanti. Said improvements must meet City engineering standards.
- 8) The foundation installed for the purposes of constructing the event barn needs to be inspected by the City Building Official to ensure proper installation prior to building permits being issued for future construction.
- 9) Resubmittal and approval shall be required for any future construction of buildings, train cars, decks, etc., to ensure compliance with the City of Isanti Zoning Code and Building Codes.
- 10) All applicable permits and licenses must be obtained from the property authorities (Army Corps of Engineers, State of Minnesota, County of Isanti, City of Isanti).

This Resolution is hereby approved by the Isanti City Council this 1st day of May, 2018.

Attest:

Mayor George A. Wimmer

Katie Brooks
Human Resources / City Clerk

FINDINGS OF FACT AND CONCLUSION

Amendment to the Conditional Use Permit Amendment & Site Plan Review
Brennan and Rebecca Cox, 'Circle B Ranch' and 'The Nest'

April 17, 2018

Prepared by Ryan Kernosky, Community Development Director

Request

Request from Brennan and Rebecca Cox (applicant) for a an amendment to the Conditional Use Permit and Site Plan Review approval to construct a Retreat Center (as defined under Section 2 of the Isanti Zoning Code) at the properties legally described as:

The Southeast Quarter of the Southeast Quarter (SE 1/4) of SE 1/4 of Section Thirty-one (31), Township Thirty-five (35), Range Twenty-three (23), EXCEPTING THEREFROM the following described parcel: The East 552.75 feet of the South 396 feet of the SE1/4 of SE1/4 of Section 31, Township 35, Range 23, Isanti County, Minnesota.

AND THE PROPERTIES LEGALLY DESCRIBED AS:

The East 552.75 feet of the South 396 feet of the SE1/4 of SE1/4 of Section 31, Township 35, Range 23, Isanti County, Minnesota.

AND THE PROPERTIES LEGALLY DESCRIBED AS:

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting therefrom that part of said NE1/4 of Section 6, described as follows:

Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line of said railroad right-of-way and to the South line of the NE1/4 of said Section 6; thence Easterly along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate,

Except the Northerly 243.75 of the Southerly 482.10 feet of the Easterly 547.29 feet and the Southerly 238.35 feet of the Easterly 592.87 feet.

AND THE PROPERTIES LEGALLY DESCRIBED AS:

Parcel A

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting

therefrom that part of said NE1/4 of Section 6, described as follows: Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line of said railroad right-of-way and along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate,

EXCEPT

The Northerly 350.00 feet of the Southerly 832.10 feet of the Easterly 770.00 feet AND the Northerly 243.75 feet of the Southerly 482.10 feet of the Easterly 547.29 feet AND the Southerly 238.35 feet of the Easterly 592.87 feet.

Parcel D

The Northerly 620.00 feet of the Southerly 1102.10 feet of the Easterly 880.00 feet of the following described property.

That part of the Northeast Quarter (NE1/4) of Section Six (6), Township Thirty-four (34), Range Twenty-three (23), lying Easterly of the Easterly right-of-way line of the Burlington Northern Railway (formerly the Eastern Railway Company of Minnesota), excepting therefrom that part of said NE1/4 of Section 6, described as follows: Commencing at the Northeast corner of the Southeast Quarter of the Northeast Quarter (SE1/4 of NE1/4) of said Section 6; thence South along the East line of said Section 6, a distance of 208.7 feet for the point of beginning of the exception to be herein described; thence West and parallel to the North line of said Section 6 and to the Easterly right-of-way of said Burlington Northern Railway; thence Southerly following the Easterly line of said railroad right-of-way and to the South line of the NE1/4 of said Section 6; thence Easterly along the south line of the NE1/4 of said Section 6 to the Southeast corner thereof; thence North along the East line of the NE1/4 of said Section 6 to the point of beginning and there to terminate.

Findings of Fact

1. The applicant is requesting for approval of an amendment to the Conditional Use Permit and Site Plan Review for the properties legally described under 'Request'.
2. The previous Conditional Use Permit and Site Plan Review was approved through Resolution 2017-232.
3. The properties are zoned "RC" Recreational Commercial.
4. The applicant has submitted an amendment to the Conditional Use Permit Application and Site Plan Review Application on March 16, 2018. The received materials were deemed complete and paid on March 16, 2018.

5. A public hearing on the matter was scheduled before the City of Isanti Planning Commission on April 17, 2018 at 7:00 p.m. at City Hall within the City Council Chambers.
6. Notice of the Conditional Use Permit Amendment Application and approval of a Site Plan Review was published with the *Isanti County News* on April 4, 2018. Notices were sent to all properties owners located within 350 feet of the aforementioned legally described parcel.
7. Section 21, Article 2: Conditional Use Permits, Subdivision 3 (D) of the Zoning Ordinance establishes factors that the judgment of the Planning Commission shall be based upon when reviewing a Conditional Use Permit request as well as Section 21, Article 2: Conditional Use Permits, Subdivision 4 General Performance Standards of the Zoning Ordinance establishes additional general standards that shall be used to evaluate any proposed conditional use permit request. Furthermore, standards established in Section 18, Subdivision 7 regulate Site Plan/Building Appearance standards that shall be used to evaluate any proposed commercial and industrial buildings.

Conclusions

1. In review of the standards established in Section 21, Article 2 Conditional Use (D); the following conclusions have been made (*conclusions to each requirement are shown in underlined italics*):

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

- A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.

The proposed uses for the site would be consistent with the goals and objectives of the comprehensive plan, as described in the Staff Memo dated April 17, 2018.

- B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

The proposed uses fit the intent of the ordinance and underlying zoning district ("RC" Recreational Commercial).

- C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

The establishment of the conditional use does not appear to endanger the public health, safety, morals and comfort of the surrounding area or the community.

- D. The conditional use will not be injurious to the use and enjoyment of other properties within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair properties values within the neighborhood.

The conditional use does not appear to diminish or impair surrounding properties values.

- E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding properties for uses permitted in the district.

The conditional use will not impede the normal and orderly development and improvement of surrounding properties for uses permitted in the district.

- F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

Adequate public services are not currently available. However, could be provided if necessary.

- G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The requested conditional use permit appears to conform to the applicable regulations required for the district and the performance standards outlined within the zoning ordinance. Conditions will be placed on any approval to ensure that the properties are developed in accordance to ordinance requirements and the proposed plan provided by the applicant.

- H. The conditional use complies with the general and specific performance standards as specified by within this Article.

These have been evaluated as part of the findings of fact; and can be found within this document.

2. In review of the standards established in Section 21, Article 2 Conditional Use, Subdivision 4 General Performance Standards; the following conclusions have been made (conclusions to each requirement are shown in underlined italics):

- A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.

The site is serviced by a street that may not be of sufficient capacity. This concern has been expressed by the Athens Township. The applicant may be responsible for future public infrastructure improvements in the Right of Way if deemed necessary by the City of Isanti.

- B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.

Sufficient access points have been provided for this site. Parking needs to meet Section 17 of the ordinance (surfacing, and minimum required stalls for "The Nest").

- C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

Proposed pedestrian circulation appears to be sufficient.

- D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.

Adequate off-street parking is provided on site. Parking needs to meet Section 17 of the ordinance (surfacing, and minimum required stalls for "The Nest").

- E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.

The proposed project does not include any drive-thru facilities

- F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.

The applicant has proposed a tree buffer along the North Property Line of PID 050313300.

- G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.

No additional landscaping is required.

- H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.

No lighting plan has been submitted, however a condition of the permit will include restrictions on lighting.

- I. The site drainage system shall be subject to the review and approval of the City Engineer.

Site drainage has been submitted and reviewed by the City Engineer. Applicant is working with Engineer to comply with requirements.

- J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

Under Section 10, Article 1, Subdivision 8: "The City Council may approve an alternative approach to meeting any of the design standards in this Section if an applicant demonstrates such modifications is necessary to respond to site conditions, will result in better integration of uses, or provide significant site amenities, buffers, and other elements to offset any potential harmful effect that could be caused by the use and will further the intent of this section." This section is met.

- K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.

Trash receptacles will be located on the properties.

- L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.

No formal signage has been submitted. Any proposed signage would require review and approval by the City staff to ensure compliance with the City Sign Code.

- M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.

The property complies with other laws and regulations.

- N. Any applicable business licenses mandated by City Code are approved and obtained.

A liquor license will need to be obtained for the Event Center.

- O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

Not applicable.

- P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformity shall be eliminated.

The use complies with the applicable performance standards as further outlined in Section 13 Use Regulations of this Ordinance.

- Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.

3. In review of the standards established in Section 18, Subdivision 7 Site Plan/Building Appearance Standards; the following conclusions have been made (conclusions to each requirement are shown in underlined italics):

- A. Consistency with the elements and objectives of the City's development guides, including the comprehensive plan.

The proposed Site Plan/Building Appearance is consistent with the comprehensive plan.

- B. Consistency with City Codes.

The proposed Site Plan/Building Appearance is consistent with City Codes, with the exceptions discussed in the Staff Memo dated April 17, 2018.

- C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The purpose of the "RC" Recreational Commercial zoning district is to encourage site development that takes into consideration the natural state of the property. This project is very consistent with this standard.

- D. The amount and location of open space and landscaping.

The proposed Site Plan/Building Appearance includes landscaping and open space that far exceeds minimums necessary.

- E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Vehicular and pedestrian circulation within the property appears to be sufficient. The applicant will have to submit an updated parking plan when the parking lot will become paved.

- F. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

The proposed Site Plan/Building Appearance was reviewed by the City Engineer, their comments should be included in the required conditions of this approval.

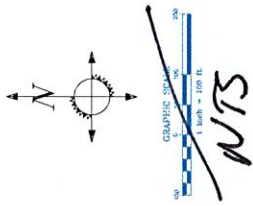
- G. Consistency with the City's Engineering Design standards as adopted by Resolution of the City Council.

The proposed Site Plan/Building Appearance was reviewed by the City Engineer, their comments should be included in the required conditions of this approval.

Decision

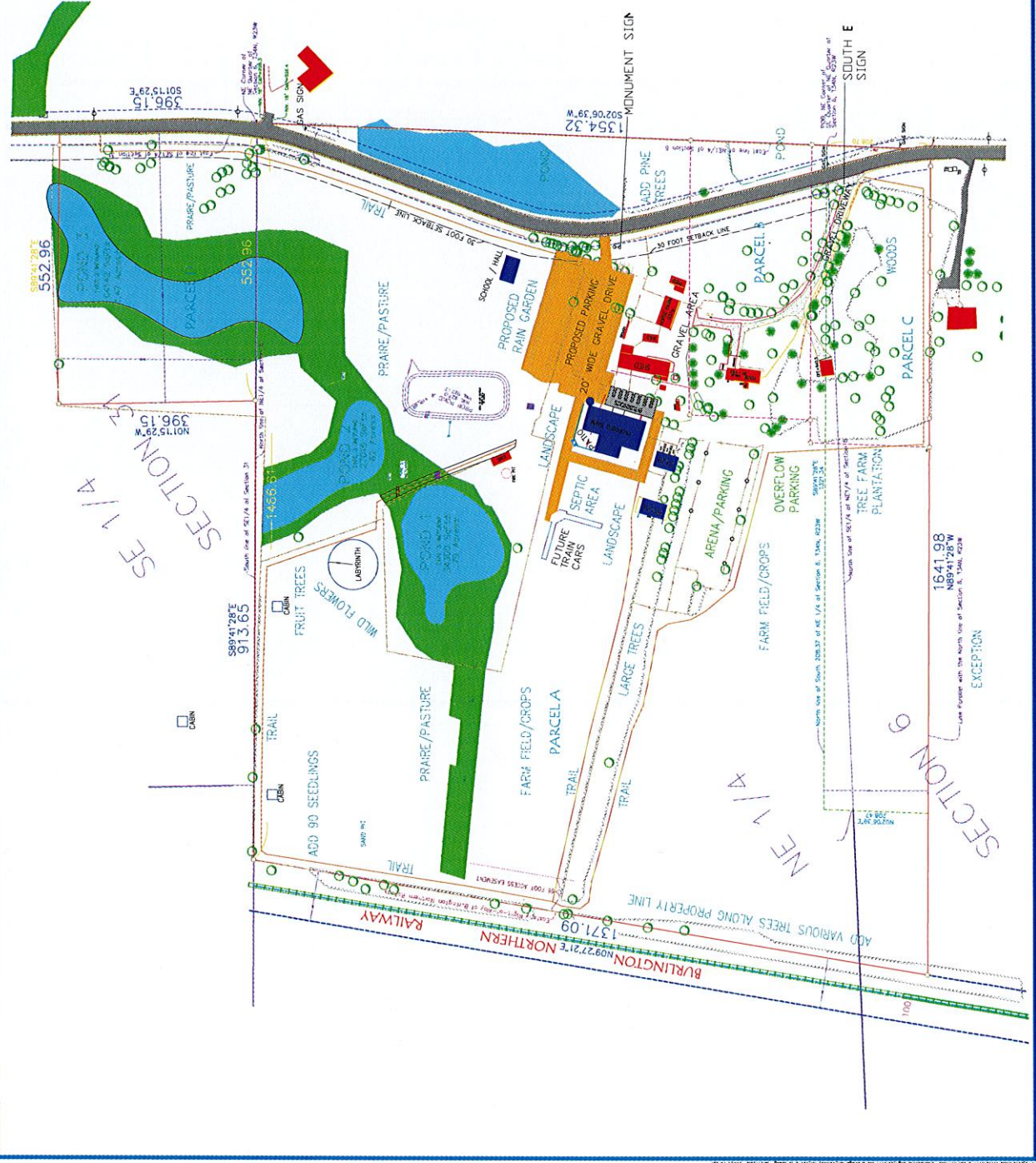
The Planning Commission reviewed the request in a public hearing on April 17, 2018. The meeting minutes, staff memo, and attachments shall be made part of the Findings of Fact and Conclusion.

Proposed Site Plan



LEGEND

- Denotes Proposed Buildings
- Denotes Existing Buildings
- Denotes Gravel Surfaces
- Denotes Gravel Surfaces
- Denotes Iron Monument set and marked with RLS 47223
- Denotes Electric Box
- Denotes Light Pole
- Denotes Power Pole
- Denotes Telephone Pedestal
- Denotes Gas Meter
- Denotes Hydrant
- Denotes Gate Valve
- Denotes Sanitary Manhole
- Denotes Sign
- Denotes Barbecue Grill
- Denotes Flag Pole
- Denotes Overhead Electric Line
- Denotes Underground Telephone Line
- Denotes Underground Gas Line
- Denotes 2 ft contour
- Denotes spot elevation



1841.98
 1809.41/201.98
 EXCEPTION
 Line Easement with the North Line of Section 6, T14N, R23W



**BOLTON
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: March 28, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E.
City Engineer
Subject: Cox Farm: Minor Subdivision Plan Review
City of Isanti, MN
Project No.: R13.113062

We have reviewed the Minor Subdivision entitled "Cox Farm" with a signature date of 3/8/2018.

The plan includes subdividing one parcel into two, Parcel A and Parcel D. Parcel D encompasses the proposed Circle B Ranch site plan.

Any future development of Parcel A will require wetland mitigation or establishing an alternate access easement across the adjacent parcels.

We have reviewed the submitted documents and have no comments.

We recommend approval of the subdivision as submitted.

Please contact me if you have any questions.



**BOLTON
& MENK**

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Ramsey, MN 55303-5119

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Bolton-Menk.com

MEMORANDUM

Date: July 26, 2017
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E.
City Engineer
Subject: Cox Farms: Circle B Ranch Site Plan Review
City of Isanti, MN
Project No.: R13.113062

We have reviewed the Site Plan entitled "Cox Farm" received on July 17, 2017 with a signature date of 6/13/2017.

The site plan includes the construction of additional buildings, gravel and bituminous parking lots, and a drainage pond.

Also submitted were hydraulic calculations for the proposed pond, as well as a storm water pollution prevention plan.

We have reviewed the submitted documents and have the following comments:

Street/Parking Lot:

1. Submit turning movements for traffic flow through the parking area and identify how the parking lot will drain to the proposed pond.
2. Plan calls out 2.08% slope for handicap parking stalls. ADA requires maximum 2.0% in all directions.
3. Grading Note 1 on sheet 4 of 8 makes mention of proposed curb & gutter. Where is proposed curb & gutter on plan?
4. Submit spot elevations and surface grades for access road to Polk Street NE and parking lots.
5. Submit pavement section for proposed streets and parking lots.

Sidewalk:

6. Plan calls out 2.08% cross slope for sidewalks. ADA requires maximum 2.0% cross slope. Refer to MnDOT pedestrian curb ramp details. (Standard Plan 5-297.250)

Well Service:

7. Proposed Barn Area appears to be within 45' from existing well. MDH requires 50' separation.



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Storm Water / SWPPP:

8. Show all existing and proposed culvert information visibly on plan.
9. Include plan showing existing and proposed contours, wetland delineations, grading construction limits, drainage flow arrows, and identify how drainage reaches the proposed pond. Wetland delineations are needed to verify impacts to existing wetlands and determine necessary permit requirements.
10. Submit a soils map to show existing soil types within the construction limits.
11. Show locations of proposed BMPs and seeding limits on plan, including redundant BMPs for work near wetlands.
12. Include details for proposed BMPs.
13. Include a long-term maintenance plan for the proposed pond.
14. When working within 200-ft of a surface water, site must be stabilized within 24 hrs. 7 days when not within 200-ft of surface water.
15. Identify qualified personnel for design of SWPPP with certifications.
16. Review section 7, identify final stabilization. Include seed and mulch types.

Permits (To be completed prior to construction):

17. NPDES Construction Storm Water General Permit
18. Minnesota Department of Health Monitoring Well Permit
19. DNR Water Appropriations Permit – if planning to withdrawal more than 10,000 gal water per day or 1 million gal water per year.
20. Army Corps of Engineers Section 404 Permit – if filling existing wetland.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.

Location Map - Public Hearing. CUP Amendment, Circle B Ranch



Legend

- City Limits
- Subject Parcel
- City Of Isanti Parcels
- Isanti Roads



Prepared By:
City of Isanti, MN
Department of
Community Development
110 1st Ave NW
PO Box 428
Isanti, MN 55040
763-444-5512
Author's Email:
rkemosky@cityofisanti.us

MAP DISCLAIMER:
This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.

A Community For Generations.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, MAY 15, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the April 17, 2018 Planning Commission

3. Public Hearings
(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)
 - A. None

4. Discussion Items
 - A. Isanti 2030 Comprehensive Plan Timeline
 - B. Community Development Director's Quarterly Report

5. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MEETING MINUTES
April 17, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:29 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley.

Members Absent: Jim Kennedy, Jeff Miller.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no Agenda Modifications, Motion by Lundeen, seconded by Bergley to approve, approved unanimously.

2. Approval of the Minutes from the March 20, 2018 Planning Commission

Motion by Lundeen, seconded by Collison to approve the minutes from the March 20, 2018 Planning Commission, approved unanimously.

3A. Request from Kwik Trip Inc. for a final plat to combine two parcels to create plat "Kwik Trip 1019" for PID 160530010 and PID 160400830

Director Kernosky stated that Kwik Trip has submitted a final plat to combine two parcels into one parcel. Kernosky stated that staff is recommending approval with the conditions stipulated in the proposed Resolution.

Mayor Wimmer opened the public hearing at 7:32 pm.

Dean George, representing Kwik Trip, stated he was there to address any questions that members of the Commission may have.

Mayor Wimmer closed the public hearing at 7:32 pm.

Motion by Lundeen, seconded by Lorinser to approve with conditions within the Resolution. Motion passed unanimously.

3B Request from Isanti Retail Meats to amend Conditional Use Permit 2008-157 to allow for a sit-down restaurant in conjunction with the existing meat market for the property located at 30 Main Street W, legally described as PID 160500440.

Director Kernosky stated that an amendment to the existing conditional use permit application has been submitted to allow for an additional restaurant use with the meat market. Kernosky stated that this is within the B-1 zoning district, and as such parking is not required. Kernosky stated that staff is recommending approval with conditions stipulated within the proposed Resolution.

Mayor Wimmer opened the Public Hearing at 7:34 p.m.

Mayor Wimmer closed the Public Hearing at 7:34 p.m.

Mayor Wimmer stated that the City is excited for this new restaurant, and that he's excited to see more outdoor seating downtown.

Commissioner Collison briefly asked about restroom capacity. Mayor Wimmer stated that the existing restrooms meet code.

Motion by Lundeen, seconded by Bergley to recommend approval of the proposed Resolution. Motion passed unanimously.

3C Request from Taylor Holdings Inc. for a Minor Subdivision Plat to combine 829 and 827 Whiskey Road NW into one parcel, parcels legally described as PID 160960970 and 160900960.

Director Kernosky stated that Taylor Holdings has submitted a minor subdivision plat to combine the two parcels into one parcel. Kernosky stated that the property is currently platted for a zero-lot line duplex, and further explained what a zero-lot line duplex was. Kernosky stated that there's an existing crosswalk that goes directly into the north parcel's driveway area, making it difficult to develop. Kernosky stated that ordinance allows for a minor subdivision process because it has been previously platted, and that the parcels are within a planned unit development, and that the single-family requirements of that PUD would be enforced for the proposed single-family home on that site. Kernosky is recommending approval with the conditions stated in the proposed resolution.

Mayor Wimmer questioned the sewer and water access charges for the two parcels.

Director Kernosky stated that the City has established that both sewer and water access charges would be paid, even if the parcels are combined.

Mayor Wimmer opened the public hearing at 7:37 pm.

Mayor Wimmer closed the public hearing at 7:37 pm.

Mayor Wimmer stated that he wished to add as a condition of the Resolution that both sewer and water access charges are paid as a result of the combination.

Motion by Lorinser, seconded by Collison to approve the proposed Resolution with the additional condition regarding sewer and water access charges are paid for both parcels. Motion passed unanimously.

3D Request from Circle B Ranch for an amendment to a Conditional Use Permit and Site Plan Review of Resolution No. 2017-232 as a result of the administrative subdivision that creates a new parcel of PID 160060505, which would adjust the site plan design and proposed uses of the other parcels.

Director Kernosky stated that Circle B ranch has submitted an application to amend Resolution 2017-232, the original resolution encompassed three properties in the south end of the City. Kernosky stated that the applicant has stated they need to split the southern most parcel in order to accommodate bank financing for the project. Kernosky stated that, because of the split, an amended conditional use permit and site plan is appropriate due to the new setbacks and different uses on other parcels.

Mayor Wimmer stated that there needs to be an agreement between two parcels if the uses overlap.

Mayor Wimmer opened the public hearing at 7:40 pm.

Mayor Wimmer closed the public hearing at 7:40 pm.

Motion by Lundeen, seconded by Collison to recommend approval with conditions stipulated in the proposed Resolution. Motion passed unanimously.

4. Discussion Items

There were no items for discussion.

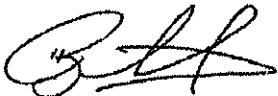
5. Adjournment

Motion by Lundeen, second by to Bergely to adjourn the April 17, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:41 p.m.

Dated at Isanti, Minnesota this 19th day of April, 2018.

Respectfully submitted,




Ryan Kernosky
Community Development Director



MEMORANDUM

TO: City of Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: May 15, 2018

SUBJECT: **ISANTI 2030 COMPREHENSIVE PLAN TIMELINE**

Background

Comprehensive Planning plays a key role in the future development of all communities in the State of Minnesota. The main purpose of the Comprehensive Plan is to facilitate more consistency in future decision-making throughout the City and is utilized as a tool for determining future land uses.

The last Comprehensive Plan was done in 2007 and has served the City well over the last eleven years. In general, it's recommended that a City update their Comprehensive Plan every ten years, and as such, the City of Isanti is ready for a 2030 Comprehensive Plan update.

City staff is recommending to do the Comprehensive Plan update internally. Both City Administrator Lorsung and Director Kernosky will lead the effort, and many of the sections can be completed by staff, with a small amount of consulting work contracted out for utility planning.

Proposed Timeline

Summer/Fall 2018- Complete Existing Land-Use Map, establish final timeline, work on background and introduction materials, existing asset inventory

Fall/Winter 2018 (post-election) - Housing, Economic Development/Economy, Natural Resources, Park/Open Space

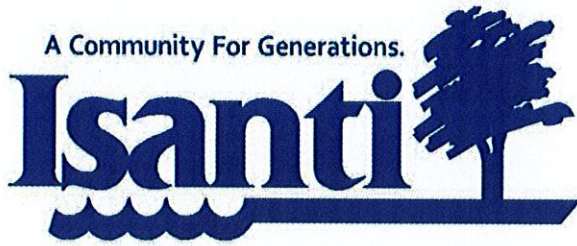
- Winter: Community Visioning Session and Community Survey

Winter/Spring 2019 - Future Land Use, Transportation, Utilities, Intergovernmental Cooperation, Implementation

- Spring: Community Visioning Session

Spring/Summer 2019 - Review and design, finalize draft versions

Fall/Winter 2019 - Adopt Comprehensive Plan



4b
Ryan J. Kernosky
 Director of Community Development
 City of Isanti, Minnesota
 110 1st Avenue NW
 PO Box 428
 Isanti, MN 55040
 763-444-5512
 rkernosky@cityofisanti.us



May 15, 2018

SUBJECT: COMMUNITY DEVELOPMENT DIRECTOR’S QUARTERLY REPORT

To the City of Isanti Planning Commission members and the general public, I’m pleased to provide you with the following report of the Department of Community Development from January 1, 2018 to April 30, 2018. In brief, community development is a process through which staff, residents, businesses, and organizations collaborate to improve the social, physical, and economic well-being in the City of Isanti. Department staff facilitates new development and redevelopment while enforcing codes and regulations. The Community Development Department encompasses Building Inspection, Planning & Zoning, and Code Enforcement.

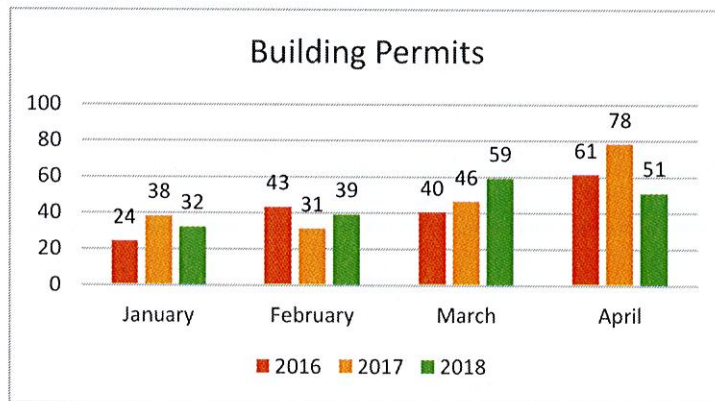
Building Inspection

MNSpect, LLC took over the role as Building Official and Inspector in late December 2017. While there have been some challenges converting from a full-time building official to a contracted building official, staff is generally pleased with the services MNSpect has provided to the City.

Building Permits

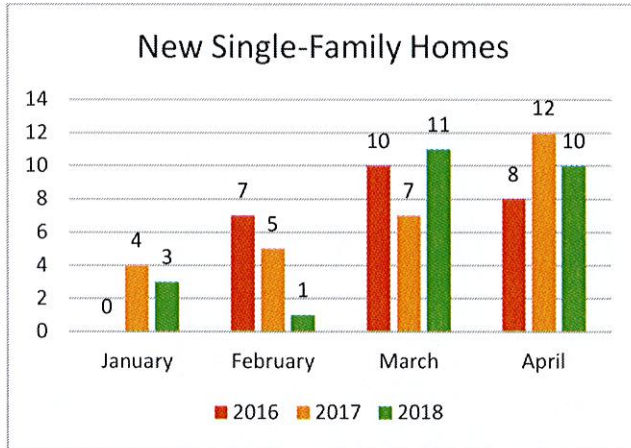
Below is a three-year trend from January through April showing all building permits issued (single-family, electrical, mechanical, plumbing, etc.).

Because of the late spring which resulted in late frost out, overall permits are down from last year. However, May 2018 is already on track to exceed May 2017.



New Single-Family Dwellings

The City continues to see strong but stable new single-family housing numbers. You will notice that our new single-family housing numbers are marginally lower than 2017. There are several reasons for this. First, with the late arrival of winter this last year, we did see a late surge in 2017 for new single-family homes. Second, spring 2018 was met with a late frost out period, which has impacted our 2018 single-family home numbers. Finally, permit reviews do have to go through additional steps prior to approval (city zoning review, MNSpect plan review), which delays the final issuance of new single-family home permits. A table showing historical numbers from the first quarter of 2016, 2017, and 2018 is on the next page.



Community Development expects another strong season of new single-family homes.

City Planning & Zoning

Lot Inventory

With the strong single-family home growth that the City has seen over the last few years, we are now facing a new challenge: vacant lot inventory. As of the date of this letter, we have exactly 120 vacant single-family lots remaining. As a reminder, in 2017 we had 91 new homes constructed, with 2018 at a similar pace. We can easily predict that if no

additional lots are brought on in 2018 or early 2019, we will have very few lots remaining at the start of the 2019 building season. That being said, builders and developers have noticed our dwindling vacant lot count and a few viable options and plans for more single-family lots have been in conceptual phases through my office. There is a real possibility of 39 lot subdivision coming on in fall of 2018, and a potential large subdivision for fall of 2019.

Isanti 2030 Comprehensive Plan

The last comprehensive plan for the City of Isanti was done in 2008. Typically, comprehensive planning should be done every 10 years. Comprehensive Planning establishes the vision and provides goals and objectives of the community's future residential growth, economic development, parks and recreation, transportation, water resources, and facilities, among other things. The comprehensive planning process is a long one, and involves extensive input from citizens, elected officials, and city staff. Community Development will oversee the 2030 Comprehensive Plan, with assistance from City Administrator Lorsung as he transitions into special projects beginning in 2019. We have begun to layout timelines and will be budgeting for this project for implementation in 2019.

Bicycle and Pedestrian Plan

Director Kernosky has begun to develop a Bicycle and Pedestrian Plan for the City. He will be working closely with PRC Manager Everett and the PRC Board to identify goals and objectives to increase our non-motorized transportation options within the City of Isanti. Great strides in identifying underserved areas of the City's sidewalk infrastructure has already taken place, and identifying future connectivity is the next step. It's expected that a final product to be completed by fall of 2018, and can be used for future sidewalk and multi-modal path development for the next 10-20 years once adopted.

Bike Friendly Community

With the existing infrastructure and educational opportunities the City offers, Community Development recommended pursuing a Bike Friendly Community status by the League of American Bicyclists. Community Development Staff has already begun putting together our application materials to submit for a bronze level status. If obtained, it will help the City receive grants for more bicycle and pedestrian facilities.

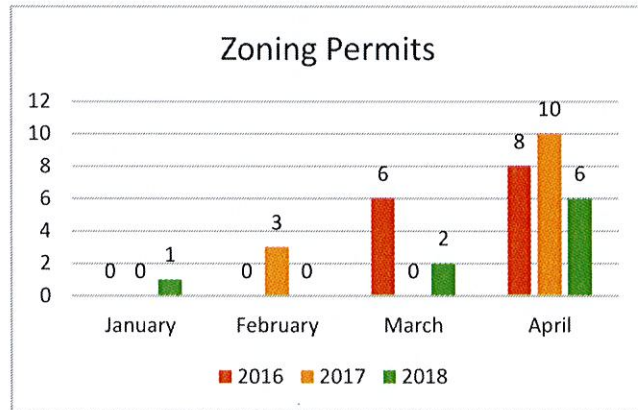
Zoning

The City Council or staff have approved the following from January – April 2018:

Permit Type	Number
Conditional Use Permit	3
Amended Conditional Use Permit	3
Interim Use Permit	1
Minor Subdivision Plat	1
Final Plat	1
Administrative Subdivision	1

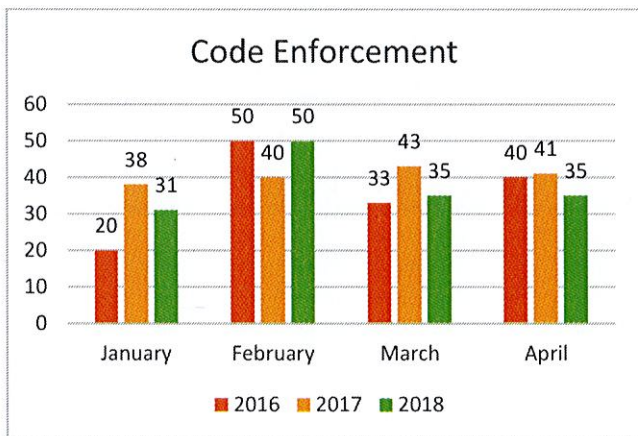
Further, a sign code amendment for dynamic signage has been approved.

The City has issued 9 total zoning permits in the first quarter of 2018. Zoning permits include fences, driveway replacements, sheds, and patios. Now that the summer season is upon us, I expect this number to increase. To the right, you'll find a chart with a quarter 1 comparison from 2016-2018.



Code Enforcement

Code Enforcement is an important part of the Community Development Department. Up until this year, the City had a part-time Code Enforcement/Zoning Technician, that position has been rolled into the ‘Planner’ position held by the same individual, Matt Lindholm who is now full-time. Typically, the summer season is the busiest for the CEZT, so I fully expect these numbers to increase during that time. Typical quarter 1 code enforcement issues include illegal parking and storage of vehicles, unlicensed vehicles or missing plates, junk/brush nuisances, and licensing unlicensed rentals.



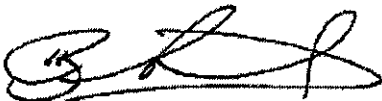
Miscellaneous Updates

- Kwik Trip has removed the old Riverside Market building and has leveled the site. They plan to begin construction at the end of August, with a late 2018 or early 2019 opening.

- Circle B Ranch is working on financing, but appears to be ready to pull building permits sometime this summer for construction on the wedding barn.
- The City had budgeted money for Director Kernosky and Planner Lindholm to obtain ArcGIS Desktop. That program has since been installed and already has been a huge asset to the department.
- Community Development continues to enforce MS4 standards in anticipation for the September 2018 deadline. Every new single-family home is required to have a pre-construction inspection, the City looks at erosion control and illicit discharge prevention, building setbacks, curb stop placement, and sidewalk/curb condition.
- Matt Lindholm joined the department in 2015 as the part-time Code Enforcement/Zoning Technician. With former Building Official Nick Henly leaving and the contracting of Building Inspection services with MNSpect, the City felt it was necessary to make Mr. Lindholm full-time to assist with building permits, residential zoning, and code enforcement. He began his full-time position at the end of March.
- MNSpect is in the City everyday for inspections. Tracy Reimann is one of the City's main building inspectors and holds office hours every Tuesday from 9:30 am to 11:30 am and Thursday from 1:00 pm to 3:00 pm. While we have had very little walk-ins in quarter 1, I would expect walk-ins to increase with the summer building season. MNSpect is hoping to provide an update at a near council meeting.

CD Staff continues to provide assistance and guidance to residents, builders, developers, and anyone who has questions! Already the winter and spring of 2018 has shown to be busy, and we anticipate another great year of development as we continue to make our City a "Community for Generations."

Respectfully Submitted,



Ryan Kernosky
Director of Community Development
rkernosky@cityofisanti.us
763-444-5512



**CITY OF ISANTI
SPECIAL PLANNING COMMISSION MEETING
TUESDAY, JULY 3, 2018**

**Immediately following the 7:00 p.m. Economic Development Authority Meeting
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the May 15, 2018

3. Public Hearings
(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)
 - A. Request from Semler Construction, Inc. for an Interim Use Permit to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW (PID 161110200)

4. Discussion Items
 - A. None.

5. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
MAY 15, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:10 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no Agenda Modifications.

2. Approval of the Minutes from the March 20, 2018 Planning Commission

Motion by Lundeen, seconded by Bergley to approve the minutes from the April 17, 2018 Planning Commission, approved unanimously.

3. Public Hearings

There were no public hearings.

4. Discussion Items

Mayor Wimmer stated that there are two openings on the Planning Commission due to two citizen resignations, Mayor Wimmer stated that there are several people who are interested in the positions, and that new City residents have expressed interest in joining the Commission.

A. Isanti 2030 Comprehensive Plan Timeline

Director Kernosky stated that it is time to begin working on our Comprehensive Plan Update. Kernosky provided a brief overview of what a Comprehensive Plan is, and stated that the City is intending to do the update in-house due to Administrator Lorsung moving into a special projects role, Director Kernosky will also assist in the update.

Mayor Wimmer stated that doing the update in house would be more efficient, and that we will go through the same process as before with public hearings, information gathering, and stakeholder input.

B. Community Development Director's Quarterly Update

Director Kernosky provided an overview of activities in the Community Development Department included in the report. He briefly touched on building inspections, vacant lots, and development activities.

Councilman Lundeen stated that MNSpect, the City's building official, is busy and in the community on a daily basis. He also stated that it's hard to find lots not owned by a developer for single-family home development.

Mayor Wimmer stated that there are projects on the horizon for more single-family subdivisions, and that those should be coming in for review soon.

Councilman Lorinser stated that, while our housing prices are higher for the area, we are still lower than those homes in the metro, and that he agreed with Councilman Lundeen in terms of the cost for lots and the developers who own the lots.

5. Adjournment

Motion by Lundeen, second by to Bergely to adjourn the May 15, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:21 p.m.

Dated at Isanti, Minnesota this 17th day of May, 2018.

Respectfully submitted,




Ryan Kernosky
Community Development Director

CALL FOR A SPECIAL MEETING OF THE CITY COUNCIL

ISANTI, MINNESOTA


I, George A. Wimmer, Mayor and Chairman of the Planning Commission of the City of Isanti, Minnesota, pursuant to M.S. 412.191 and City Code Chapter 8-12, C. call for a Special Meeting of the Isanti Planning Commission at 7:00 p.m., following the regular City Council and EDA meetings, in the Isanti City Council Chambers for the purpose of considering a request for an Interim Use Permit to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW (legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition) .

Dated: June 12, 2018



George A. Wimmer
Mayor / Chairman of Planning Commission

ATTEST:



Ryan Kernosky
Secretary of Planning Commission

PUBLIC NOTICE

SPECIAL CITY PLANNING COMMISSION MEETING

TUESDAY JULY 3, 2018 – 7:00 P.M.

ISANTI CITY COUNCIL CHAMBER

110 1ST AVE NE ISANTI, MN 55040

Notice is hereby given that the City Planning Commission of the City of Isanti will hold a special meeting on July 3, 2018 at 7:00 p.m. or shortly thereafter to hold a public hearing regarding a request from Semler Construction, Inc. for an Interim Use Permit to operate a Temporary Real Estate office 1302 Maplewood Ave SW (legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition).

BY THE ORDER OF THE PLANNING COMMISSION OF THE CITY OF ISANTI, MN DATED THIS 12TH DAY OF JUNE, 2018:

/s/ Ryan Kernosky

Secretary of the Planning Commission

City of Isanti 6-12-2018
110 1st Avenue NW
RD Box 428
Isanti, MN 55040
ATTN: Director of Community Development
Ryan J. Kernosky MPA
RE: Request of a special meeting of the Planning Commission

Dear Ryan,

This letter is to request a special meeting of the Planning Commission to obtain an Interim Use Permit for the purpose of utilizing one of our model home sales centers as an interim office for Semmler Construction, Inc.



Sincerely,
Pete Semmler
President
Semmler Construction, Inc.



STAFF REPORT

TO: City of Isanti Planning Commission Members

FROM: Ryan Kernosky, Community Development Director *RK*

DATE: July 3, 2018

SUBJECT: **PUBLIC HEARING – REQUEST FROM SEMLER HOMES, INC FOR AN INTERIM USE PERMIT TO OPERATE A TEMPORARY REAL ESTATE OFFICE AT 1302 MAPLEWOOD AVE SW (PID 161110200)**

Introduction

Semler Construction, Inc. has submitted an application for an Interim Use Permit to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW. Under Section 6, Article 1, Subd. 5(B) Temporary Real Estate Offices are a permitted interim use, as long as they meet the requirements set forth in Section 13 of the Zoning Code. Semler Construction would use the home as an office and model home.

Section 13, Subd. 21 discusses specific use regulations for Temporary Real Estate Offices:

- A. The construction of a temporary real estate office(s) shall require an interim use permit and shall meet the additional requirements as herein stipulated.
- B. No temporary real estate office shall incorporate outside lighting which creates a nuisance due to glare or intensity to surrounding property owners.
- C. All temporary real estate office signage shall comply with the sign regulations as stipulated within Section 16 of this Ordinance.
- D. The interim use permit shall terminate three (3) years from its date of issuance or at such time as eighty-five (85%) of the development is completed, whichever occurs first; unless a different time line is approved by the City Council.
- E. No certificate of occupancy permit shall be issued for a temporary real estate office until such time as the structure has been converted to a residence. Such conversion shall include but not be limited to parking area restoration and the removal of any additional signs or lighting.
- F. Adequate parking areas shall be provided on the site for visitors. The overall design, drainage, and surfacing of any temporary parking facilities shall be subject to the approval of the Building Official and City Engineer.

- G. Additional conditions may be placed upon the interim use permit, in an effort to mitigate for any potential negative effects such a use may have upon the surrounding residential uses.

City staff reviewed the application, and directed the applicant to answer the following questions with the applicant responses in *Italics*:

- 1) Please provide a timeline of how long you will be using the home for a temporary real estate office.
From July 18, 2018 through June 30, 2020.
- 2) Please provide intended number of visitors or maximum number of visitors expected per day.
Average daily visitors: 4.
- 3) Please provide office hours and days intended to be open. *Monday-Friday 7:00 am to 3:30 pm, with occasional use until 5 or 6 pm.*
- 4) Per City Code, the City may only issue a temporary certificate of occupancy during the time the home is used as a temporary real estate office, is Semler Homes OK with that? *Yes, we are okay with a temporary certificate of occupancy.*

Interim Use Permits

The purpose of an interim use permit is to allow a temporary use that is not designated as permitted or conditionally permitted but is acceptable for a limited period of time subject to conditions.

Section 21, Subd. 5 provides criteria for granting an interim use permit. Staff comments are *Italicized*:

- A. The proposed use shall meet the applicable zoning regulations
The proposed use meets the applicable zoning regulations as Temporary Real Estate Offices are a permitted interim use in the R-1 Zoning District.
- B. The proposed use will not adversely impact implementation of the Comprehensive Plan
The 2008 Comprehensive Plan identifies this parcel as 'Low Density Residential.' Because the intended use is for a temporary real estate office and model home, I believe this application is consistent with our comprehensive plan.
- C. The proposed use will terminate upon a date or event that can be identified with certainty
The applicant has stated they intend to use the property for a temporary real estate office and model home until June 30, 2020. This will be included in the recommendation.
- D. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future
There is a new construction single-family home on this parcel. Because this is a residential use, there is no reason for the public to ever take the property in the future.
- E. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit
Semler Construction has submitted a consent application.
- F. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use.
The proposed use is subject to the following conditions:

- 1) *The Interim Use Permit is granted to Semler Construction for the property located at 1302 Maplewood Ave SW. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2020.*
- 2) *Public Office Hours are to be Monday through Friday, 7:00 am to 3:30 pm.*
- 3) *No overnight storage of construction vehicles shall be allowed on the site.*
- 4) *No storage of construction materials shall be permitted on the site.*
- 5) *The subject parcel shall be maintained in a way to fit with the residential characteristics of the surrounding neighborhood.*
- 6) *1302 Maplewood Ave SW shall be issued a temporary certificate of occupancy by the City of Isanti as deemed appropriate. A final certificate of occupancy will only be issued once the interim use permit has expired or lapsed, whichever occurs first.*

Staff Recommendation

I am recommending approval of the interim use permit with the following conditions:

- 1) The Interim Use Permit is granted to Semler Construction for the property located at 1302 Maplewood Ave SW. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2020.
- 2) Public Office Hours are to be Monday through Friday, 7:00 am to 3:30 pm.
- 3) No overnight storage of construction vehicles shall be allowed on the site.
- 4) No storage of construction materials shall be permitted on the site.
- 5) The subject parcel shall be maintained in a way to fit with the residential characteristics of the surrounding neighborhood.
- 6) 1302 Maplewood Ave SW shall be issued a temporary certificate of occupancy by the City of Isanti as deemed appropriate. A final certificate of occupancy will only be issued once the interim use permit has expired or lapsed, whichever occurs first.

Attachments:

- Semler Construction Additional Information
- Resolution No. 2018-XXX
- Findings of Fact & Conclusion
- Area Map



Ryan J. Kernosky
Director of Community Development
City of Isanti, Minnesota
110 1st Avenue NW
PO Box 428
Isanti, MN 55040
763-444-5512
rkernosky@cityofisanti.us



June 22, 2018

RE: NOTICE OF PUBLIC HEARING

Dear Property Owner:

You are receiving this public hearing notice letter from the City of Isanti Community Development Department. Per City Ordinance (Sect. 21, Subd. 4(C)), anytime an Interim Use Permit application is received, we are required to notify property owners within 350 feet of the subject parcel of the public hearing associated with the request.

An Interim Use Permit application has been submitted to the City from Semler Construction, Inc. to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW (PID 161110200). Pursuant to Isanti Zoning Code Sect. 6, Article 1, Subd. 5(B) a *Temporary Real Estate Office* is a Interim Use in the R-1 Single-Family zoning district.


Your input is valuable to the decision the City Planning Commission will make regarding this request. You are invited to give testimony in support or against the proposed Interim Use Permit either at the meeting or through letters/email. The public hearing is scheduled for the following date and time:

**PUBLIC HEARING REGARDING A REQUEST FROM
SEMLER CONSTRUCTION, INC. FOR AN INTERIM USE
PERMIT FOR A TEMPORARY REAL ESTATE OFFICE AT
1302 MAPLEWOOD AVE SW**

**JULY 3, 2018 OR SHORTLY THEREAFTER
ISANTI CITY HALL COUNCIL CHAMBERS, 110 1ST AVE
NW ISANTI, MN 55040**

For your assistance, a location map and notice of public hearing is included in this packet of information. If you have any questions or concerns regarding this letter, please feel free to contact me by phone at (763) 444-5512 or via e-mail at rkernosky@cityofisanti.us.

Very truly yours,


Ryan J Kernosky
Director of Community Development
rkernosky@cityofisanti.us
763-444-5512

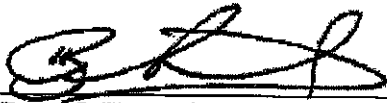
Public Notice

City of Isanti
Special Planning Commission
Public Hearing on July 3, 2018

Notice is hereby given that on **Tuesday, July 3rd, 2018, at 7:00 P.M. or shortly thereafter, at the Isanti City Hall located at 110 First Avenue NW, Isanti, Minnesota;** the Planning Commission will hold a Public Hearing on the following item(s):

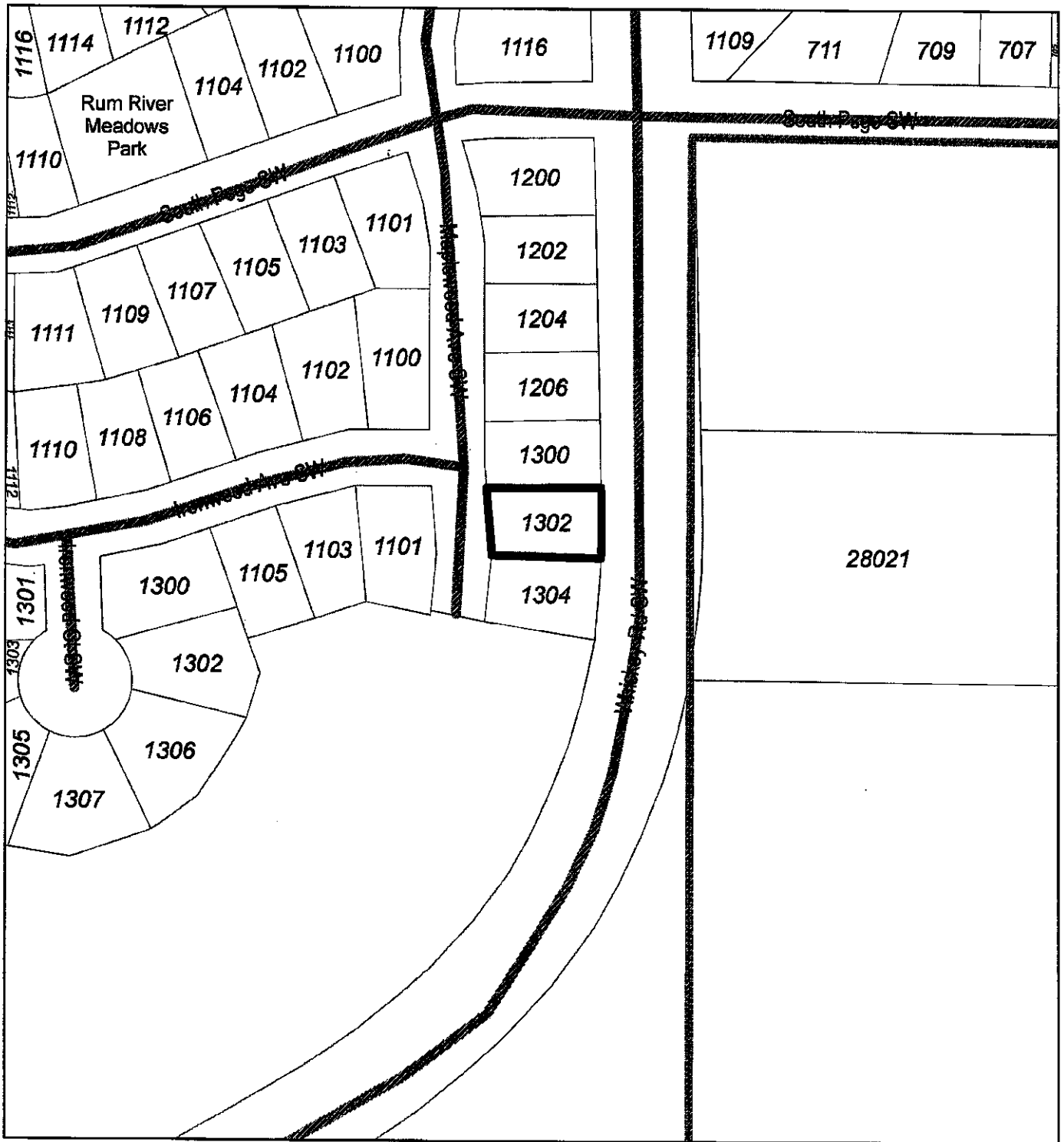
- 1) Request from Semler Construction, Inc. for an Interim Use Permit to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW (PID 161110200) more legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition.

BY ORDER OF THE CITY OF ISANTI, MINNESOTA.



Ryan J. Kernosky
Community Development Director

Public Hearing Location Map



Legend

-  City Limits
-  Subject Parcel



MAP DISCLAIMER:
 This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein contained.

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING AN INTERIM USE PERMIT FOR THE OPERATION OF A TEMPORARY REAL ESTATE OFFICE FOR SEMLER CONSTRUCTION, INC. FOR THE PROPERTY LOCATED AT 1302 MAPLEWOOD AVE SW (PID 161110200)

WHEREAS, Semler Construction, Inc (applicant) has applied for an Interim Use Permit to operate a Temporary Real Estate Office on the property at 1302 Maplewood Ave SW (PID 161110200); and,

WHEREAS, the subject property is legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition; and,

WHEREAS, the subject property is located within the R-1 Single Family Residential District and an Interim Use Permit for Temporary Real Estate Offices is required under Section 6, Article 1, Subd. 5(B); and,

WHEREAS, pursuant to Section 21, Article 3, Subd. 4, a public hearing was conducted during a special City Planning Commission meeting on July 3, 2018, and all property owners within 350' of the subject parcel were notified via US Mail about the public hearing, and the legal posting of the public hearing was published on June 21, 2018 in the *Isanti County News*; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval with the conditions stipulated in this Resolution and upon the information found in the Facts and Conclusion; and,

WHEREAS, the City of Isanti City Council reviewed the requested Interim Use Permit at its regularly scheduled meeting on July 17, 2018.

NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota that it adopts the Findings of Fact and Conclusion related to the requested Interim Use Permit; and,

BE IT FURTHER RESOLVED by the City Council of the City of Isanti, Minnesota that the Interim Use Permit as requested by Semler Construction, Inc. to operate a Temporary Real Estate Office on the property located at 1302 Maplewood Ave SW, legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition be approved with the following conditions:

- 1) The Interim Use Permit is granted to Semler Construction for the property located at 1302 Maplewood Ave SW. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2020.

- 2) Public Office Hours are to be Monday through Friday, 7:00 am to 3:30 pm.
- 3) No overnight storage of construction vehicles shall be allowed on the site.
- 4) No storage of construction materials shall be permitted on the site.
- 5) The subject parcel shall be maintained in a way to fit with the residential characteristics of the surrounding neighborhood.
- 6) 1302 Maplewood Ave SW shall be issued a temporary certificate of occupancy by the City of Isanti as deemed appropriate. A final certificate of occupancy will only be issued once the interim use permit has expired or lapsed, whichever occurs first.

This Resolution is hereby approved by the Isanti City Council this 17th day of July, 2018.0

Mayor George A. Wimmer

ATTEST:

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from Semler Construction for an Interim Use Permit to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW, legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition.

Findings of Fact

1. The petitioner, Selmer Construction Inc, owns the property on which the applicant to proposing to operate a temporary real estate office at the subject property.
2. The property, 1302 Maplewood Ave SW is legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition.
3. The property is zoned "R-1" Single Family Residential District, in which Temporary Real Estate Offices are considered a permitted Interim Use and regulated by Section 13 of the City of Isanti Zoning Code.
4. The petitioner submitted a complete Interim Use Permit Application on June 8, 2018. Pursuant to Minnesota State Statute, the City must act on this request by August 9, 2018 (60-day rule).
5. A public hearing date before the Planning Commission was scheduled for Tuesday July 3, 2018 at 7:00 pm at City Hall within the City Council Chambers.
6. Notice of the Interim Use Permit was published within the *Isanti County News* on Thursday June 21, 2018. Notices were sent to all property owners located within 350 feet of the subject property.
7. Section 21, Article 3, Subd. 5 of the Isanti Zoning Code establishes criteria in which the judgement of the Planning Commission and City Council shall be based upon when reviewing an Interim Use Permit.

Conclusions

1. In review of the factors established in Section 21, Article 3, Subd. 5, the following conclusions have been made (*conclusions to each requirement are show in italics*):
 - A. The proposed use shall meet the applicable zoning regulations
The proposed use meets the applicable zoning regulations as Temporary Real Estate Offices are a permitted interim use in the R-1 Zoning District.
 - B. The proposed use will not adversely impact implementation of the Comprehensive Plan
The 2008 Comprehensive Plan identifies this parcel as 'Low Density Residential.' Because the intended use is for a temporary real estate office and model home, I believe this application is consistent with our comprehensive plan.
 - C. The proposed use will terminate upon a date or event that can be identified with certainty
The applicant has stated they intend to use the property for a temporary real estate office and model home until June 30, 2020. This will be included in the recommendation.
 - D. The proposed use will not impose additional costs on the public if it is necessary for the public to take the property in the future
There is a new construction single-family home on this parcel. Because this is a residential use, there is no reason for the public to ever take the property in the future.
 - E. The applicant has signed a consent agreement agreeing that the applicant, owner, operator, tenant and/or user has no entitlement to future re-approval of the Interim Use Permit
Semler Construction has submitted a consent application.

- F. The proposed use will be subjected to, by agreement with the property owner, any conditions that the City Council deems appropriate for permission of the proposed interim use, including a condition that the owner may be required to provide an appropriate surety to cover the cost of removing the interim use and any interim structures upon the expiration of the interim use.

The proposed use is subject to the following conditions:

- 1) *The Interim Use Permit is granted to Semler Construction for the property located at 1302 Maplewood Ave SW. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2020.*
- 2) *Public Office Hours are to be Monday through Friday, 7:00 am to 3:30 pm.*
- 3) *No overnight storage of construction vehicles shall be allowed on the site.*
- 4) *No storage of construction materials shall be permitted on the site.*
- 5) *The subject parcel shall be maintained in a way to fit with the residential characteristics of the surrounding neighborhood.*
- 6) *1302 Maplewood Ave SW shall be issued a temporary certificate of occupancy by the City of Isanti as deemed appropriate. A final certificate of occupancy will only be issued once the interim use permit has expired or lapsed, whichever occurs first.*

Decision

The Planning Commission reviewed the request in a public hearing on **July 3, 2018**. After the public hearing, the Planning Commission has recommended approval with the conditions stipulated in the attached Resolution.

Conditions

1. The Interim Use Permit is granted to Semler Construction for the property located at 1302 Maplewood Ave SW. The Interim Use Permit shall terminate upon the occurrence of any of the following events; whichever comes first: (1) the sale or lease of the property to another renter or owner; (2) the use has been discontinued for 30 consecutive days; (3) the City Council suspends or revokes the Interim Use Permit upon failure of the interim use to comply with the conditions of approval and/or the property or use is found to be in violation of other City ordinances; (4) the use is approved until June 30, 2020.
2. Public Office Hours are to be Monday through Friday, 7:00 am to 3:30 pm.
3. No overnight storage of construction vehicles shall be allowed on the site.
4. No storage of construction materials shall be permitted on the site.
5. The subject parcel shall be maintained in a way to fit with the residential characteristics of the surrounding neighborhood.
6. 1302 Maplewood Ave SW shall be issued a temporary certificate of occupancy by the City of Isanti as deemed appropriate. A final certificate of occupancy will only be issued once the interim use permit has expired or lapsed, whichever occurs first.

CONSENT AGREEMENT


WHEREAS, on June 17, 2007, the City Council of the City of Isanti adopted Ordinance No. 405, which establishes a framework for the regulation and issuance of interim use permits; and

WHEREAS, Section 19, Subd. 5 (D), of this ordinance requires an applicant for an interim use permit to sign a Consent Agreement wherein the applicant acknowledges and agrees that the proposed interim use will not impose any additional costs on the public if there is a future need for the public acquisition of the property through eminent domain and that the applicant has no entitlement to future re-approval of the interim use permit;

NOW, THEREFORE, Pete Semler, as applicant for an interim use permit for a Temporary Real Estate Office to be located on the property at 1302 Maplewood Ave SW (legally described as Lot 6, Block 4, Rum River Meadows 2nd Addition, Isanti County, Minnesota), agree to the following:

1. The applicant shall ensure that the proposed use meets the applicable zoning regulations.
2. The applicant shall ensure that the proposed use will not adversely impact implementation of the Comprehensive Plan.
3. If this application is approved by the Isanti City Council, the applicant shall terminate the use upon a date or event as so determined by the City Council.
4. If this application is approved by the Isanti City Council, the interim use of the property will not impose any additional costs on the City or any other public entity should it become necessary to acquire the property or a portion thereof by eminent domain after issuance of the interim use permit.
5. The applicant shall comply with all conditions imposed upon the interim use permit by the City Council.
6. This Consent Agreement shall be binding on any owner, operator, tenant and/or user of the property for which the interim use permit has been granted and the applicant is authorized to sign this Consent Agreement on behalf of said owner, operator, tenant and/or user of the property.

DATED: 6-18-18

SIGNATURE OF APPLICANT: 

SIGNATURE OF PROPERTY OWNER: _____
(if different than applicant)

Ryan Kernosky

From: Patty Erickson <patty@semleshomes.com>
Sent: Tuesday, June 26, 2018 9:16 AM
To: Ryan Kernosky
Subject: RE: Interim Use Permit Conditions

Hi Ryan.

Everything looks great!
Thank you.

Sincerely,

Patty Erickson

Office Manager

Semler Homes, Inc.

Semler Construction, Inc.

1889 Station Parkway NW

Andover, MN 55304

763-754-5578 office

763-767-2345 fax

patty@semleshomes.com

www.semleshomes.com

From: Ryan Kernosky [mailto:RKernosky@cityofisanti.us]
Sent: Tuesday, June 26, 2018 9:06 AM
To: Patty Erickson <patty@semleshomes.com>
Subject: Interim Use Permit Conditions

Patty-

Please see proposed conditions of the interim use:

- 1) The temporary real estate office interim use shall expire on June 30, 2020 or when the use has lapsed for 30 or more consecutive days.
- 2) Public Office Hours are to be Monday through Friday, 7:00 am to 3:30 pm.
- 3) No overnight storage of construction vehicles shall be allowed on the site.
- 4) No storage of construction materials shall be permitted on the site.
- 5) The subject parcel shall be maintained in a way to fit with the residential characteristics of the surrounding neighborhood.
- 6) 1302 Maplewood Ave SW shall be issued a temporary certificate of occupancy by the City of Isanti as deemed appropriate. A final certificate of occupancy will only be issued once the interim use permit has expired or lapsed, whichever occurs first.

Any thoughts?

RK



Ryan J. Kernosky, MPA
Director of Community Development
City of Isanti, Minnesota
110 1st Avenue NW
PO Box 428
Isanti, MN 55040
763-444-5512
rkernosky@cityofisanti.us



June 14, 2018

Semler Homes
Attn Pete Semler
1889 Station Parkway NW
Andover, MN 55304

Delivered via Email

RE: APPLICATION FOR AN INTERIM USE PERMIT AT 1302 MAPLEWOOD AVE SW

Dear Mr. Semler –

Thank you for your application for an interim use permit to operate a temporary real estate office at 1302 Maplewood Ave SW in the City of Isanti. I am in receipt of your application, and will need the following items addressed:

- 1) Please provide a timeline of how long you will be using the home for a temporary real estate office.
- 2) Please provide intended number of visitors or maximum number of visitors expected per day.
- 3) Please provide office hours and days intended to be open.
- 4) Per City Code (Sec 13, Subd 21(E)) the City may only issue a *Temporary Certificate of Occupancy* during the time the building is used as a temporary real estate office. Is Semler Homes OK with that?

To keep this process moving along, please get this information to me as soon as possible.

If you have any questions or concerns regarding this letter, please feel free to contact me by phone at (763) 444-5512 or via e-mail at rkernosky@cityofisanti.us.

Very truly yours,

A handwritten signature in black ink, appearing to read "R. Kernosky", written over a horizontal line.

Ryan J Kernosky
Community Development Director
rkernosky@cityofisanti.us
763-444-5512

CC: Interim Use File
Property File

From: Patty Erickson
To: Ryan Kernosky
Subject: RE: Interim Use
Date: Thursday, June 14, 2018 9:43:18 AM

Good morning Ryan.

Here are the answers to the questions:

1. We are requesting to use the home for a temporary real estate office from July 18, 2018 through June 30, 2020.
2. The intended number of visitors or maximum number of visitors per day ~ average of 4
3. The office hours and days we intend to be open: Monday – Friday; 7 am -3:30 pm, with occasional use until 5 or 6 pm
4. Yes. We are okay with have a Temporary Certificate of Occupancy.

Sincerely,

Patty Erickson

Office Manager

Semler Homes, Inc.

Semler Construction, Inc.

1889 Station Parkway NW
Andover, MN 55304

763-754-5578 office

763-767-2345 fax

patty@semlerhomes.com

www.semlerhomes.com

From: Ryan Kernosky [mailto:RKernosky@cityofisanti.us]

Sent: Thursday, June 14, 2018 9:18 AM

To: Patty Erickson <patty@semlerhomes.com>

Subject: Interim Use

Hi Patty-

See the attached letter. Please respond as soon as possible, response via email is great.

Thanks!!

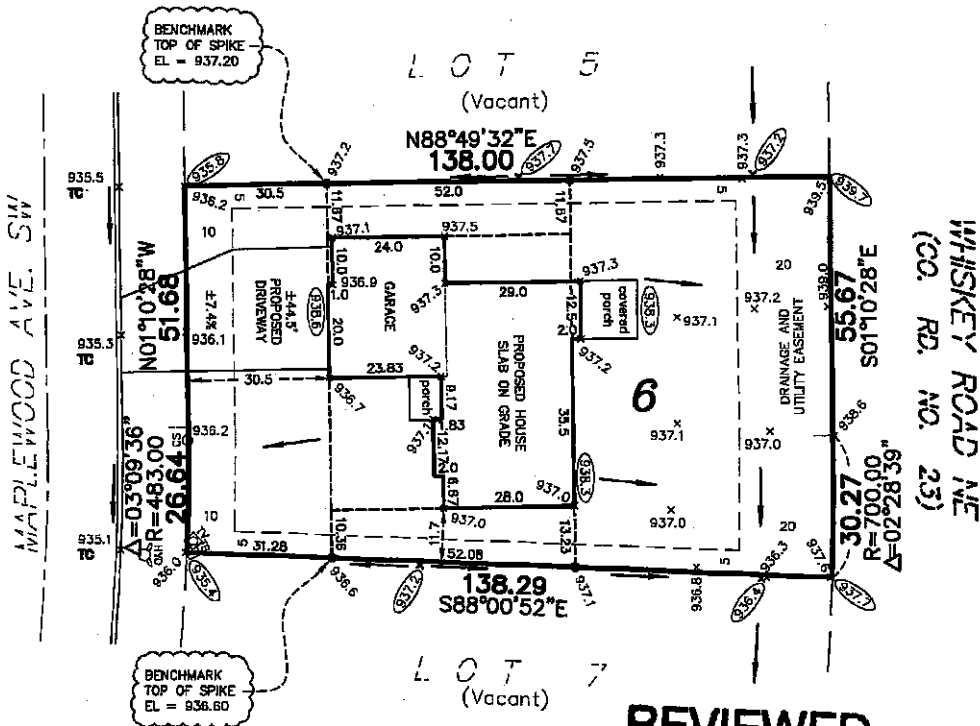
RK

Ryan J. Kernosky, MPA
Director of Community Development
City of Isanti, MN
110 1st Ave NW

Certificate of Survey for: SEMLER HOMES

Located in the SW 1/4 of
Sec. 31, Twp. 35, Rge. 23

House Address:
1302 Maplewood Avenue, Isanti, MN



**REVIEWED
FOR CODE COMPLIANCE**

BY: *[Signature]*
DATE: 12/14/17
BUILDING INSPECTION DEPT.

LEGAL DESCRIPTION:

Lot 6, Block 4, RUM RIVER MEADOWS
2ND ADDITION, Isanti County, Minnesota

* SLAB ON GRADE *

PROPOSED BUILDING ELEVATIONS

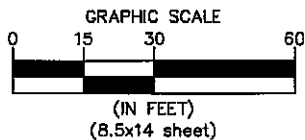
Top of Foundation Elevation: 939.0 ✓
Garage Slab Elevation (at door): 938.6 ✓

NOTES:

- Proposed building site grading is in accordance with the grading plans prepared by Midwest Land Surveyors & Civil Engineers last revised 1/20/03.
- Contractor must verify sewer depth.
- Driveways shown are for graphic purposes only. Final driveway design and location to be determined by owner/builder.
- All building foundation dimensions shown on this survey include exterior foundation insulation widths, if applicable. Refer to final building plans for foundation details.

- Denotes Existing Hydrant
- Denotes Existing Electric Box
- Denotes Existing Television Box
- Denotes Existing Telephone Box
- Denotes Existing Light Pole
- Denotes Existing Service
- Denotes Existing Curb Stop
- Denotes Existing Elevation
- Denotes Proposed Elevation
- Denotes Direction of Drainage
- Denotes Drainage & Utility Easement (per recorded plat)
- Denotes Iron Monument

Bearings shown are assumed



1180 6131.005 MEP

**Carlson
McCain**

ENVIRONMENTAL • ENGINEERING • SURVEYING
3890 Pheasant Ridge Drive NE,
Suite 100, Blaine, MN 55449
Phone: 763-489-7900 Fax: 763-489-7959

I hereby certify to Semler Homes that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Dated this 11th day of December, 2017.

Signed: Carlson McCain, Inc.

By: *[Signature]*
Thomas R. Balluff, L.S. Reg. No. 40361
Peter J. Blomquist, L.S. Reg. No. 51676

Save Date: 2/13/17 File: 6131.005 - 6131.005.dwg



**CITY OF ISANTI
PLANNING COMMISSION MEETING AGENDA
TUESDAY, JULY 17, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the July 3, 2018 Special Planning Commission

3. Public Hearings

(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)

 - A. Request from La Crosse Sign Co. on behalf of Kwik Trip Inc. for a Conditional Use Permit to install dynamic signage at 400 E Dual Blvd NE (Legally Described as Lot 1, Block 1, Kwik Trip 1019)

4. Discussion Items
 - A. None

5. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
JULY 3, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:18 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there is an addendum to the agenda, item #3 will now be “Oath of Office for New Planning Commissioner – Joey Lemay” all subsequent items will be renumbered accordingly.

Motion by Lundeen, seconded by Lorinser to adopted the modified agenda, approved unanimously.

2. Approval of the Minutes from the May 15, 2018 Planning Commission

Motion by Lundeen, seconded by Bergley to approve the minutes from the May 15, 2018 Planning Commission, approved unanimously.

3. Oath of Office for New Planning Commissioner – Joey Lemay

Joey Lemay recited the Oath of Office for Planning Commissioner. Subsequent to the Oath, Commissioner Lemay took his seat on the Planning Commission.

4. Public Hearings

- A. Request from Semler Construction, Inc. for an Interim Use Permit to operate a Temporary Real Estate Office at 1302 Maplewood Ave SW (PID 161110200)

Chairman Wimmer opened the public hearing at 7:20 p.m.

Rick Parkos, 1200 Maplewood Ave SW – Mr. Parkos stated that the neighborhood was against the real estate office. He stated that there’s a lot of kids in the neighborhood, a bus stop at the end of the street, and a park down the street. Mr. Parkos stated that he is worried about home values as a result in the increase in traffic, and again reiterated his concerns about the safety of the children in the area. Mr. Parkos presented a petition of twenty names and addresses of individuals in the neighborhood that were opposed to the use.

Patti Erickson, representing Semler Construction, Inc. – Ms. Erickson stated that this would be a construction office, which would include 3-4 vehicles. Individuals would come in the office in the morning, get their job assignments, and leave to go to their jobs sites. After that point, there would be one or two employees at the property during the day. Ms. Erickson stated that there will be no more activity around the home than what’s existing with new home construction.

Commissioner Collison asked if Ms. Erickson had any pictures of the home or the site.

Ms. Erickson stated that the home is a single-family home, slab on grade. She stated that the exterior will remain the same, and that she will have her office in the living room.

Commissioner Collison inquired about potential signage.

Ms. Erickson stated that there would only be a sign on the door, and not in the front yard.

Commissioner Bergley stated he thought it was intended to be a model home to show the development.

Chairman Wimmer stated that the Commission should take more public hearing before further discussion occurs.

Abigail Anderson, 1101 South Passage SW – Ms. Anderson questioned whether or not this use would impact their property values.

Chairman Wimmer stated that the City wouldn't know but would discuss it after the public hearing.

Seeing no further public comment, Chairman Wimmer closed the public hearing at 7:27 p.m.

Chairman Wimmer stated that there's a few things to consider. The City does allow a home occupancy and has recently approved one, but the difference was that the individual lived at the home in which they had their business. Chairman Wimmer stated that this is a residential neighborhood and that people purchase homes in the neighborhood for that reason. The Chairman stated that the Commission should consider whether or not this use could be somewhere else in the City, outside of the residential neighborhood. Finally, the Chairman stated that he understood why Semler Homes would want to use this space, however because of the proposed use of the property, he has concerns about approving this use.

Commissioner Lorinser stated that this use was different from what the City has seen in the past. Historically, he stated, the developer may have a few model homes with an office set up for marketing their development. Commissioner Lorinser stated that he felt this was setting up an office in a residential area, not a commercial area, and that he was worried about setting precedent for other developers and businesses to request the same use.

Commissioner Collison asked about what the definition of "temporary" meant.

Director Kernosky stated that interim uses are designed to be temporary in nature. He stated that the City's Zoning Ordinance allows for temporary real estate office as an interim use permit until 85 percent of the development is completed, or when the City places a sunset clause on the interim use permit. Kernosky stated that staff conditioned that this use would sunset on June 30, 2020.

Commissioner Lorinser stated that the Commission was just told that this use is not consistent with a temporary real estate office by Semler Homes, but rather a construction office.

Commissioner Collison asked if anyone would be living in the home.

Ms. Erickson stated that no one would be living in the home. She stated that the building they are currently in sold and that Semler Construction needs to be out of the property by August 1st. She stated that this would be temporary until they would be able to find a commercial office building.

Chairman Wimmer asked how long they intend to stay at the subject property.

Ms. Erickson stated until June 30, 2020 and will be marketed for sale after that point.

Commissioner Bergley asked about whether or not the concern about children and traffic has been studied.

Chairman Wimmer stated that the City has not had a study on this, and wasn't necessarily concerned about traffic, but rather the character of the neighborhood and the precedent of allow businesses within residential zoning districts.

Commissioner Lorinser stated that some of the other home occupations bring in more traffic but reiterated his concerns about setting precedent of allowing this use in residential zoning districts.

Chairman Wimmer stated that Semler Construction should have reached out to the neighborhood, but even if they would have, he would still have concerns about the characteristics of the neighborhood and precedent setting. He also stated that the final recommendation will be sent to City Council

Commissioner Collison asked whether or not Semler Construction reached out to anyone at City Hall for potential leads on commercial real estate.

Ms. Erickson stated that they are working with a realtor. She also asked whether or not Semler Construction would fit within the requirements of an interim use permit.

Director Kernosky stated that staff, working with Semler Construction, was under the impression that one individual would be operating out of this home and that the home would be used as a model home for potential buyers. Because of that, his interpretation was that this would be sufficient to meet the terms of a temporary real estate office within the zoning code. Mr. Kernosky stated that the Commission may impose conditions similar to a conditional use permit. Mr. Kernosky stated that the original understanding that one person at the subject property along with the model home component would fit within the zoning code.

Chairman Wimmer stated that he disagreed with staff, and that how the use was presented tonight is not consistent with the zoning code.

Ms. Erickson stated that she would generally be the only person at the property throughout the day, minus the two or three people who would show up in the morning for their assignments. She also stated that they have a realtor on staff, but the home wouldn't be actively on the market while they use the property as an office.

Commissioner Bergley encouraged the applicant to approach the neighbors to address their concerns.

Commissioner Collison stated he was confused as to why there was specific office hours, and how would the public know when those were.

Ms. Erickson stated that they may have a meeting with a potential home owner at the property during those hours.

Commissioner Lorinser stated that if the property was used as a temporary model home and real estate office, he would be supportive. However, because the use is more intense than previously

thought and within a residential zone, and because of the length of time of the use, he had concern about the request.

Motion by Lorinser, second by Bergley to recommend denial of the request for an interim use permit by Semler Construction for the property at 1302 Maplewood Ave SW for the following reasons:

- 1) It would change the neighborhood character.
- 2) It would be a construction office, and not a temporary real estate office.

Motion passed unanimously.

5. Adjournment

Motion by Lundeen, second by to Bergley to adjourn the July 3, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:44 p.m.

Dated at Isanti, Minnesota this 10th day of July, 2018.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Kernosky', written over a horizontal line.

Ryan Kernosky
Community Development Director



STAFF REPORT

TO: City Planning Commissioners

FROM: Ryan Kernosky, Community Development Director *R*

DATE: July 17, 2018

SUBJECT: **ITEM 3A - REQUEST FROM LA CROSSE SIGN CO. ON BEHALF OF KWIK TRIP INC. FOR A CONDITIONAL USE PERMIT TO INSTALL DYNAMIC SIGNAGE AT 400 E DUAL BLVD NE (LEGALLY DESCRIBED AS LOT 1, BLOCK 1, KWIK TRIP 1019)**

Introduction

La Crosse Sign Group (applicant) has submitted a Conditional Use Permit on behalf of Kwik Trip Inc. to install two dynamic signs at the proposed Kwik Trip, 400 E Dual Blvd NE. The property is zoned "B-2" General Business District and falls within the Heritage Blvd Sign Overlay District.

Per City Zoning Ordinance Section 16, Subd. 4, dynamic signage is a conditional use for properties within the B-2 Zoning District that is a part of the Heritage Blvd Sign Overlay District.

Request

The applicant has submitted two signs:

- 1) A 30' tall double-faced pylon sign with a total of 98.15 sq ft in size. Dynamic signage portion is 65 square feet, or 66% of the signage area. This sign will be along Heritage Blvd.
- 2) Gas Canopy Sign 42" by 60", or 17 sq ft with a small dynamic sign portion to display Diesel Exhaust Fluid pricing, this sign will be on the east-side of the diesel fuel canopy.

Public Hearing

Notice of Public Hearing was provided in the *Isanti County News* on July 5, 2018. Property owners within 350' of the subject property were also notified via USPS.

Public Comment

At the time of the creation of this document, no public comment has been received.

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors (note: staff comments are *italicized*):

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
The future land use plan calls for this area to be developed as 'general commercial.' Given the high-quality finishes of the approved building and site layout, the signage is consistent with the design of the building.
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.
Dynamic signage is a conditional use in the B-2 Zoning Districts that are apart of the Heritage Blvd overlay zoning district.
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.
The signage is designed to allow the highest possible visibility for vehicles near the intersection of N Duel Blvd NE and Heritage Blvd.
4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.
The signage is consistent with the City's Sign Ordinance.
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
The property will be developed as a gas station and car wash. The signage is an incidental part of the development of the property.
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.
Not applicable.
7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.
The proposed signage is consistent with the City's Sign Ordinance.
8. The conditional use complies with the general and specific performance standards as specified by within this Article.
Staff believes that this conditional use complies with the general and specific performance standards of the Zoning Ordinance.

Development and Operations Advisory Committee

DOAC met and discussed this item during the June 28th, 2018 meeting and has recommended approval as presented.

Staff Recommendation

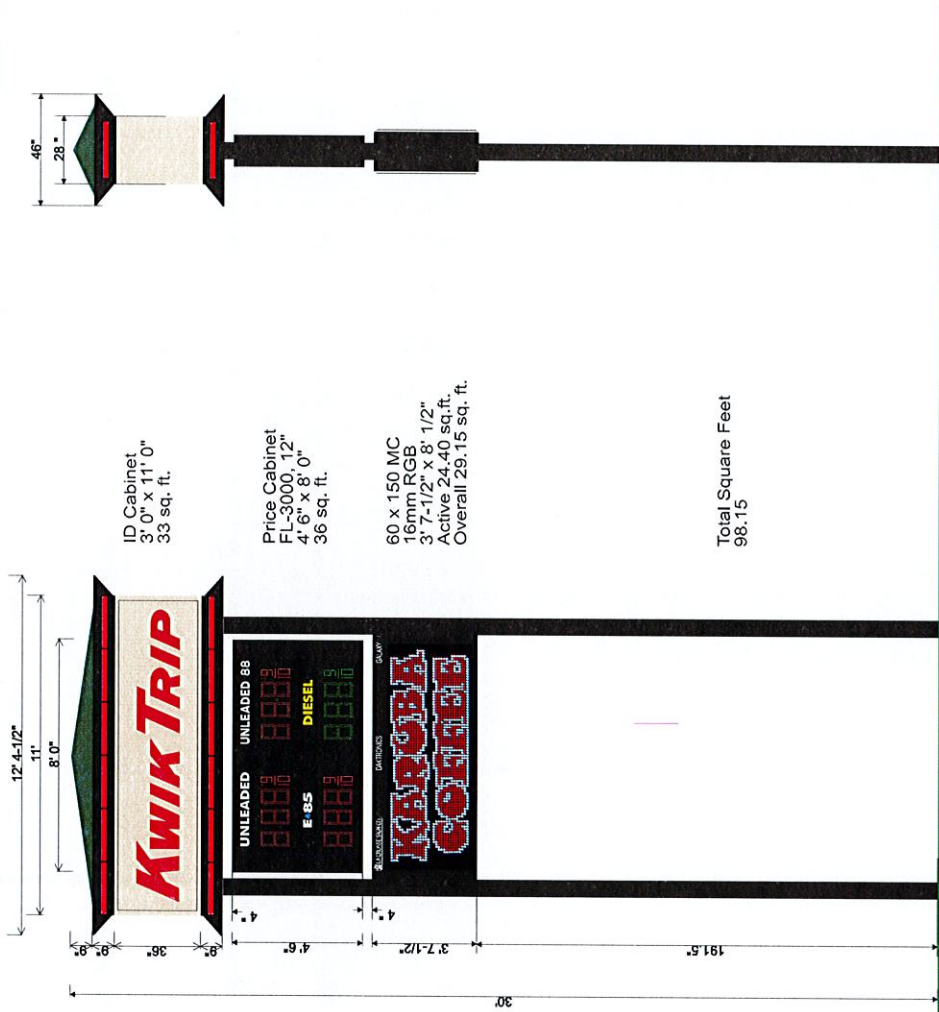
I am recommending approval as presented.

Attachments:

- Additional material submitted by applicant
- Resolution 2018-XXX
- Findings of Fact & Conclusion

DOUBLE FACED PYLON

#1019 ISANTI, MN



ID Cabinet
3' 0" x 11' 0"
33 sq. ft.

Price Cabinet
FL-3000, 12"
4' 6" x 8' 0"
36 sq. ft.

60 x 150 MC
16mm RGB
3' 7-1/2" x 8' 1/2"
Active 24.40 sq. ft.
Overall 29.15 sq. ft.

Total Square Feet
98.15

Approved by: _____ Date: _____ Landlord: _____ Date: _____

This artwork is copyrighted and may not be otherwise used without permission. It is the property of La Crosse Sign Co., Inc. and must be returned to them.

lacrossesign.com		DESIGN		SALES		FILE											
<p>La Crosse Sign Group 1450 Oak Forest Drive • Onalaska, WI 54650 • 608-781-1450 2242 Mustang Way • Madison, WI 53718 • 608-222-5353 2502 Melby Street • Eau Claire, WI 54703 • 715-835-6189</p>		<p>Drawing by: Bryan Cullen Sign Type: Pylon Date Created: 5/26/18 Last Modified: Scale:</p>	<p>Job Name: Kwik Trip Job Address: Heritage Blvd & E. Dual Blvd NE Isanti, MN 55040 Salesperson: Cindy Bluske Job Number: 99478</p>	<p>Revision Number: Job File Location: S:1 - Kwik Triplisanti, MN 1019 New Site Design 1019 Isanti, MN art 99487</p>	<p>COLOR KEY</p> <table border="0"> <tr> <td>a NA 208080 Beige</td> <td>g Green LED</td> </tr> <tr> <td>b Black S/G paint</td> <td>h Black (230-22)</td> </tr> <tr> <td>c #2283 Red Acrylic</td> <td>i Yellow (230-015)</td> </tr> <tr> <td>d White of Acrylic</td> <td>j Blue (230-167)</td> </tr> <tr> <td>e Red LED</td> <td>f NA 307880 Hemlock Green</td> </tr> </table>			a NA 208080 Beige	g Green LED	b Black S/G paint	h Black (230-22)	c #2283 Red Acrylic	i Yellow (230-015)	d White of Acrylic	j Blue (230-167)	e Red LED	f NA 307880 Hemlock Green
a NA 208080 Beige	g Green LED																
b Black S/G paint	h Black (230-22)																
c #2283 Red Acrylic	i Yellow (230-015)																
d White of Acrylic	j Blue (230-167)																
e Red LED	f NA 307880 Hemlock Green																



La Crosse Sign Company
Meets all UL Safety Codes
and Requirements.

Drawn by: DANIELLE WAAS
LACROSSE SIGN COMPANY
608-781-1450

Date Created: 5-8-2014
Date Modified: 6-2-2014
Modified By: Danielle Waas

Project Name: KWIK TRIP
Sales Person: Cindy Biluske
Order Number: NA

Project Desc: DEF Pricer Cabinet

GENERAL SPECIFICATIONS

- A** DEF PRICER CABINET
 - Qty: 51F
 - Size: 42"x60"x 5" deep
- A1**-Face Material:
 - Top Face: .187 white lexan
 - Bottom Face: .090 aluminum
 - routed for 12" pricer
- A2**-Face Finish:
 - *1st surface-printed graphics with DEF copy to be translucent. Laminated to protect against UV & elements
 - *2nd surface-blockout vinyl aluminum
- A3**-Return Material: .080 formed aluminum
- A4**-Return Finish: semi-gloss paint
- A5**-Back Material: .080 aluminum
- A6**-Back Finish: semi-gloss paint
- A7**-Retainer Size: 2" paint
- A8**-Retainer Finish: semi-gloss paint
 - Divider Bar Size: 3/4"x75"
 - Divider Bar Finish: vinyl
 - Service Access: slide
 - Lighting: white LED TD3s (mounted to top shining down)
 - Mount: mount power supply so it is easily accessible from product ID panel
- A9**-LED PRICER: 12" Daktronics Fuelight Pricer-(1) amber LED, -Install per map

COLOR SPECIFICATIONS

Color has been adjusted for print per Bryan C. files

Black

White

Blue NA 197230 S/G

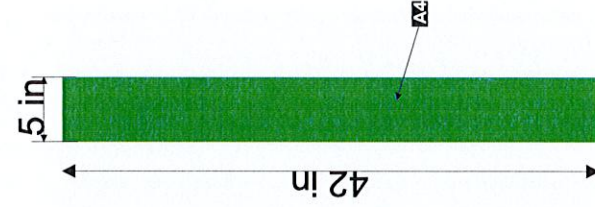
Green NA 410980 S/G

Blockout Vinyl

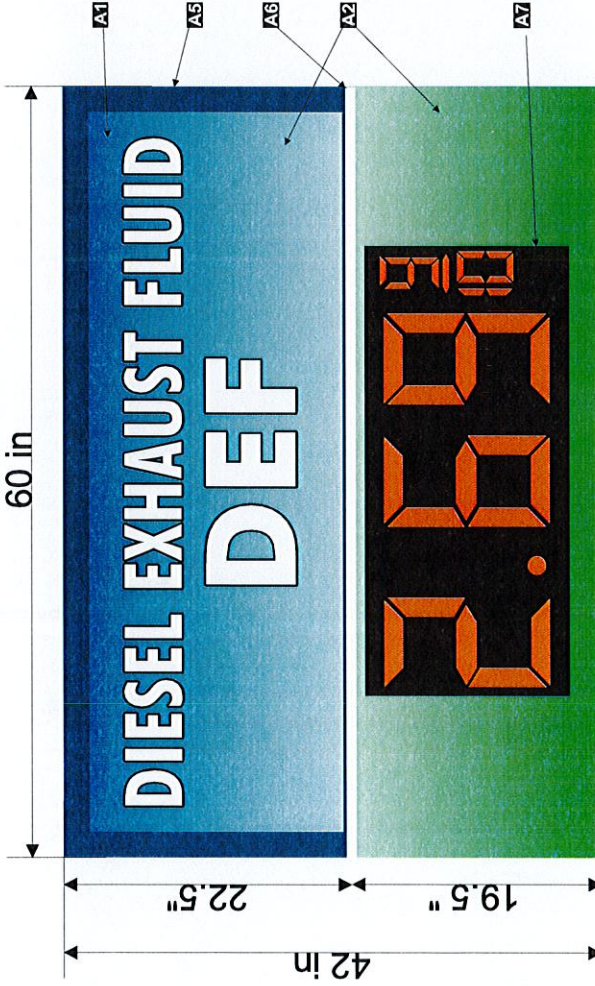
FILE LOCATION

S:\Kwik Trip\1-Artwork\1-Specification Drawings\DEF Pricer

Side View



Front View



APPROVED BY: _____ DATE: _____

LA CROSSE SIGN CO.
MAKE A STATEMENT!

*COLORS ON SKETCH ARE ONLY A REPRESENTATION, ACTUAL COLOR OF FINISHED PRODUCT MAY DIFFER

1450 Oak Forest Drive • Onalaska, WI 54650 • Ph. 608-781-1450



Examples of finished look



June 6, 2018

City of Isanti
Ryan Kernosky - Community Development Director
110 1st Avenue NW
P.O. Box 428
Isanti, MN 55040

Condition Use Application for Kwik Trip # Kwik Trip #1019 at 400 Dual Blvd E:

A sign permit application was received by the city on 3/29/18 for the signs at this new proposed Kwik Trip site and since that time the pylon sign has been changed to conform to the required 30' height, 110' square foot maximum.

Kwik Trip is requesting consideration for a conditional use permit for the installation of dynamic display signs within their main ID pylon sign. They would like digital price signs as well as an electronic message center. These would be less than 80% of the overall sign.

They are likewise requesting a conditional use for the digital price sign on the side of the fuel canopy to display another type of fuel that will be sold on this site.

Please see the attached information regarding these signs.

Encl: \$650 for CUP (\$325 for digital signs on pylon, \$325 for DEF canopy digital price sign)

We appreciate your time and consideration, please feel free to contact me with any concerns: Cindy Bluske at cindyb@lacrossesign.com or 608-781-1450.

*Thank you,
Cindy Bluske*

LaCrosse Sign Group -home office 1450 Oak Forest Dr. / Onalaska, WI 54650 / Phone: 608-781-1450

LaCrosse Sign Group of Madison 2242 Mustang Way / Madison, WI 53718 / Phone: 608-222-5353

LaCrosse Sign Group of Eau Claire 2502 Melby St. / Eau Claire, WI 54703 / Phone: 715-835-6189

cindyb@lacrossesign.com

Properties within 350' to my knowledge. Per Ryan Kernosky, Director of Community Development, he will take care of the requirements of this portion.

Justification of the Proposed Conditional Use for the Electronic Message Center on Pylon:

The size and height of the pylon sign which houses the electronic message center meet the requirements of the B-2 General Business District the sign will be located in. The location of the pylon sign complies with the distance from property lines per city code. The sign will be compatible with the existing neighborhood and will not impede the normal and orderly development and improvement in the surrounding area.

It is not Kwik Trip's intention to use the sign in any way to be injurious to the public. The dynamic display will be programmed and updated by the Kwik Trip Marketing Department in La Crosse, WI to display messages per the city requirement, this information has been sent to this department: *"A dynamic display image, or any portion thereof, may not change more than once every twenty (20) seconds, except one for which changes are necessary to correct hour-and-minute, date, or temperature information. A display of time, date, or temperature must remain for at least twenty (20) seconds before changing to a different display, but the time, date, or temperature information itself may change not more often than once every three (3) seconds. Transition. If a dynamic display's image or any portion thereof changes, the change sequence must be instantaneous without any special effects of any kind.*

Prohibition of fluctuating or flashing illumination, video or audio. No portion of a dynamic display image may fluctuate in light intensity or use intermittent, strobe or moving light, or light that changes in intensity in sudden transitory bursts, streams, zooms, twinkles, sparkles or any other manner that creates the illusion of movement." The lighting on the sign can be controlled and will not be a disturbance to neighboring properties. The display has the capability to meet all other statements regarding the display. Please also see the attached letter from Daktronics, the manufacturer of the dynamic display for more information.

The message center is an informational sign that notifies potential customers of specials each day at the Kwik Trip store, convenient for quick purchases at the same time fuel is purchased.

The Kwik Trip site is also a resource for tourists which helps in promotion of tourism in the city.

Justification of the Proposed Conditional Use for the Digital Price Signs on Pylon:

Fuel prices are mandatory to display to the public and this type of digit is highly legible, one color, and has the ability to dim automatically. The price of fuel would change only once a day at the most so the sign would be static the great majority of the time. This type of sign is safer for employees rather than manually changing prices on a ladder, it can be changed remotely.

The signs will all be in compliance with Section 16 of the City of Isanti Ordinance.

Justification of the Proposed Conditional Use for the Digital Price Sign on the Fuel Canopy:

Fuel prices are mandatory to display to the public and this type of digit is highly legible, one color, and has the ability to dim automatically. The price of fuel would change only once a day at the most so the sign would be static the great majority of the time. This type of sign is safer for employees rather than manually changing prices on a ladder, it can be changed remotely.

The signs will all be in compliance with Section 16 of the City of Isanti Ordinance.

201 Daktronics Dr. PO Box 5128
Brookings, SD 57006-5128

tel 800-325-7446 605-692-0200
fax 605-692-0381

www.daktronics.com

March 27, 2018

City of Isanti
110 1st Avenue NW
P.O. Box 428
Isanti, MN 55040

Re: Manufacturer Certification – Dynamic Display proposed for Kwik Trip, Isanti, MN

To Whom This May Concern:

In compliance with the provisions of the City of Isanti, we provide the following information regarding the above referenced display:

- The display has the ability to be set not to exceed 5,000 nits during daylight hours and 500 nits between dusk to dawn. These levels can be protected from end user manipulation by password protected software.
- The sign comes equipped with automatic dimming technology to adjust the sign's brightness based on ambient light conditions. As the sun rises and sets, the display will automatically detect that change and adjust the level of brightness accordingly.
- The subject display comes equipped with the ability to hold messages static for a period of not less than twenty (20) seconds.
- The display comes equipped with the ability to change messages directly and immediately, without any special effects.
- The display has the ability to be set to prohibit light fluctuation, intermittent light, strobe or moving light that would change in intensity and give the appearance of bursts, streams, zooms, twinkles, sparkles, or other illusions of movement.
- The display has the ability to be set to prohibit video display: motion, pictorial imagery, depict action or a special effect to imitate movement, or display pictorials or graphics in a progression of frames that gives the illusion of motion of any kind.
- Lastly, the sign comes equipped with the ability to freeze the sign face in one position if a malfunction occurs.

201 Daktronics Dr. PO Box 5128
Brookings, SD 57006-5128

tel 800-325-7446 605-692-0200
fax 605-692-0381

www.daktronics.com

We hope this information is beneficial. Should you have any questions, please feel free to contact me.

Daktronics is committed to providing LED displays that adhere to the regulatory environment, while working closely with our customers for a responsible approach to the market.

Sincerely,
Daktronics, Inc.



Roger Brown
Signage Legislation
605-692-0200

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR LA CROSSE SIGN CO. ON BEHALF OF KWIK TRIP INC. FOR THE INSTALLTION OF DYNAMIC SIGNAGE AT 400 E DUEL BLVD NE

WHEREAS, La Crosse Sign Co., on behalf of Kwik Trip Inc. has submitted a conditional use permit for the installation of two dynamic signs at 400 E Dual Blvd NE; and,

WHEREAS, 400 E Dual Blvd NE is legally described as Lot 1, Block 1, Kwik Trip 1019; and,

WHEREAS, the property is within the “B-2” General Commercial Zoning District and is subject to the rules and regulations of the Heritage Blvd Sign Overlay District; and,

WHEREAS, dynamic signage is a conditional use for properties zoned “B-2” and within the Heritage Blvd Sign Overlay District; and,

WHEREAS, the applicant submitted proper materials and payment for the consideration of a conditional use permit to the Community Development Department; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the proposed conditional use permit on July 17, 2018; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval of the proposed conditional use permit as presented; and,

WHEREAS, the City Council of the City of Isanti reviewed the requested conditional use permit at its regularly scheduled meeting on August 8th, 2018.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ISANTI, MINNESOTA, that it adopts the Findings of Fact and Conclusion related to the requested conditional use permit and **BE IT FURTHER RESOLVED** that the requested conditional use permit for the installation of dynamic signage to be located at 400 E Dual Blvd NE be hereby approved as presented.

Mayor George A. Wimmer

ATTEST:

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from La Crosse Sign Co on behalf of Kwik Trip Inc for a conditional use permit for the installation of dynamic signage at 400 E Dual Blvd NE in the City of Isanti.

Findings of Fact

1. The applicant is requesting a conditional use permit to install dynamic signage at 400 E Dual Blvd NE in the City of Isanti.
2. The property is zoned “B-2” General District and is within the Heritage Blvd Sign Overlay District.
3. A Conditional Use Permit is required for dynamic signage within the Heritage Blvd Sign Overlay District.
4. The petitioner submitted a Conditional Use Permit Application, the required application fee and associated materials on June 9, 2018. Staff had reviewed such application and deemed such application complete on June 9, 2018. Pursuant to Minnesota State Statute, the City must act on this request by August 8, 2018 (60-day rule).
5. A public hearing date before the Planning Commission was scheduled for Tuesday, July 17, 2018 at 7:00 p.m. at City Hall within the Council Chambers.
6. Notice of the Conditional Use Permit request was published within the Isanti- County News on Thursday July 5, 2018. Notices were sent to all property owners located within 350 feet of the subject property.
7. Section 21, Article 2: Conditional Use Permits, Subdivision 3 (D) of the Zoning Ordinance establishes factors that the judgment of the Planning Commission shall be based upon when reviewing a Conditional Use Permit.
8. The Planning Commission held a public hearing on the item on July 17, 2018; and all property owners within 350’ of the subject property were invited to attend and provide public comment.

Conclusions

1. In review of the standards established in Section 21, Article 2 Conditional Use (D); the following conclusions have been made (*conclusions to each requirement are shown in italics*):

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

 - A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
 - i. *The future land use plan calls for this area to be developed as ‘general commercial.’ Given the high-quality finishes of the approved building and site layout, the signage is consistent with the design of the building.*
 - B. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.
 - i. *Dynamic signage is a conditional use in the B-2 Zoning Districts that are apart of the Heritage Blvd overlay zoning district.*

- C. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.
 - i. *The signage is designed to allow the highest possible visibility for vehicles near the intersection of N Duel Blvd NE and Heritage Blvd.*

- D. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.
 - i. *The signage is consistent with the City's Sign Ordinance.*

- E. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - i. *The property will be developed as a gas station and car wash. The signage is an incidental part of the development of the property.*

- F. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.
 - i. *Not applicable.*

- G. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.
 - i. *The proposed signage is consistent with the City's Sign Ordinance.*

- H. The conditional use complies with the general and specific performance standards as specified by within this Article.
 - i. *Staff believes that this conditional use complies with the general and specific performance standards of the Zoning Ordinance.*

Decision

The Planning Commission held a public hearing on the item at the **July 17,2018** meeting. After the public hearing, the Planning Commission has recommended approval with the conditions stipulated in the attached Resolution.



**CITY OF ISANTI
PLANNING COMMISSION MEETING AGENDA
TUESDAY, AUGUST 21, 2018
Immediately following the 7:00 p.m. City Council Meeting
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Meeting Minutes
 - A. Approval of Minutes from the July 17, 2018 Planning Commission

3. Public Hearings

(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)

 - A. None

4. Discussion Items
 - A. 2018 Quarter 2 Community Development Director's Report

5. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION
JULY 17, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:20 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley.

Members Absent: Joey Lemay, excused.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Motion by Lundeen, seconded by Collison to adopted the agenda, approved unanimously.

2. Approval of the Minutes from the July 3, 2018 Planning Commission

Motion by Collison, seconded by Lundeen to approve the minutes from the July 3, 2018 Special Planning Commission meeting, approved unanimously.

3. Public Hearings

A. Request from La Crosse Sign Co. on behalf of Kwik Trip Inc. for a Conditional Use Permit to install dynamic signage at 400 E Dual Blvd NE (Legally Described as Lot 1, Block 1, Kwik Trip 1019)

Chairman Wimmer opened the public hearing at 7:21 p.m.

No one spoke during the public hearing.

Chairman Wimmer closed the public hearing at 7:22 p.m.

Motion by Lundeen, seconded by Collison to recommend approval of the Conditional Use Permit for La Crosse Sign Co. for the installation of dynamic signage at 400 E Dual Blvd NE (legally described as Lot 1, Block 1, Kwik Trip 1019). Motion passed unanimously.

4. Discussion Items

A. No discussion items.

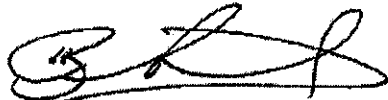
5. Adjournment

Motion by Bergley, second by to Lundeen to adjourn the July 17, 2018 meeting of the Planning Commission. Motion was unanimously approved.

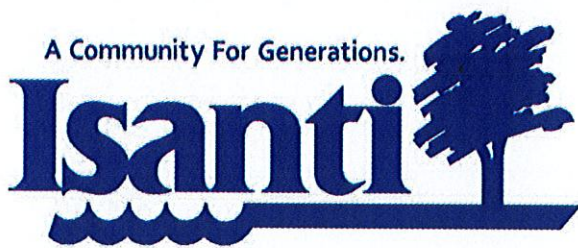
The meeting adjourned at 7:22 p.m.

Dated at Isanti, Minnesota this 20th day of July, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director



Ryan J. Kernosky, MPA
 Director of Community Development
 City of Isanti, Minnesota
 110 1st Avenue NW
 PO Box 428
 Isanti, MN 55040
 763-444-5512
 rkernosky@cityofisanti.us



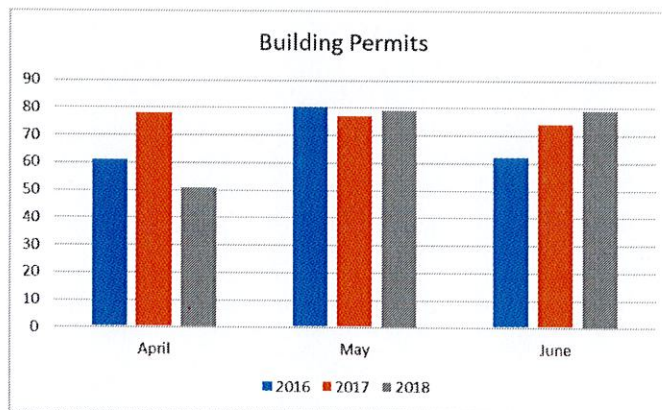
August 21, 2018

SUBJECT: COMMUNITY DEVELOPMENT DIRECTOR'S QUARTERLY REPORT – 2018 Q2

To the City of Isanti Planning Commission members and the general public, I'm pleased to provide you with the following report of the Department of Community Development from April 1, 2018 to June 30, 2018. In brief, community development is a process through which staff, residents, businesses, and organizations collaborate to improve the social, physical, and economic well-being in the City of Isanti. Department staff facilitates new development and redevelopment while enforcing codes and regulations. The Community Development Department encompasses Building Inspection, Planning & Zoning, and Code Enforcement.

Building Inspection

MNSpect, LLC took over the role as Building Official and Inspector in late December 2017. Since then, City staff has been extremely pleased with the services they have provided.



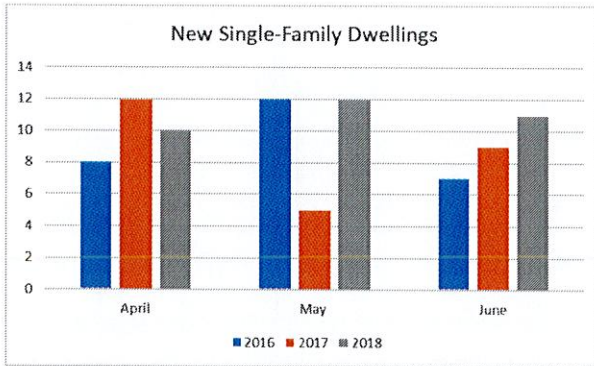
Building Permits

Below is a three-year trend from April through June showing all building permits issued (single-family, electrical, mechanical, plumbing, etc.). Overall, building permit issuance is slightly down from 2017 and is nearly identical to 2016, a late start to the building season is the main reason staff believes that we are slightly down year over year.

New Single-Family Dwellings

The City continues to see strong new single-family housing numbers. You will notice that our new single-family housing numbers are higher than 2016 and 2017. The table below will show the three-year breakdown of new single-family housing development from January through June.

	January	February	March	April	May	June	Total
2016	0	7	10	8	12	7	44
2017	4	5	7	12	5	9	42
2018	3	1	11	10	12	11	48



City Planning & Zoning

Lot Inventory

With the strong single-family home growth that the City has seen over the last few years, we are now facing a new challenge: vacant lot inventory. As of July 5, 2018, we had 103 vacant single-family lots remaining. As a reminder, in 2017 we had 91 new homes constructed, with 2018 at a similar pace. We can easily predict that if no additional lots are brought on in by early 2019, we will have very

few lots remaining at the start of the 2019 building season. That being said, builders and developers have noticed our dwindling vacant lot count and a few viable options and plans for more single-family lots have been in conceptual phases through my office.

Isanti 2030 Comprehensive Plan

City staff has begun to put together citizen surveys, hopefully for distribution in early 2019. We have also begun to do some of the 'core' statistical work for the update.

Bicycle and Pedestrian Plan

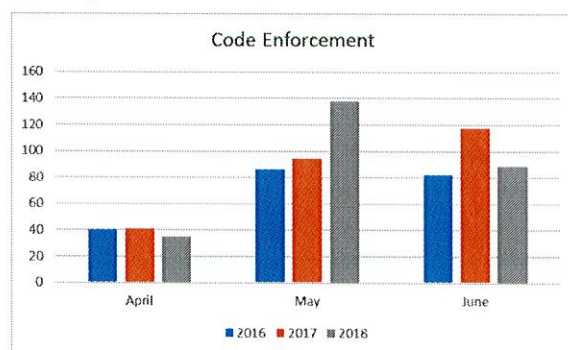
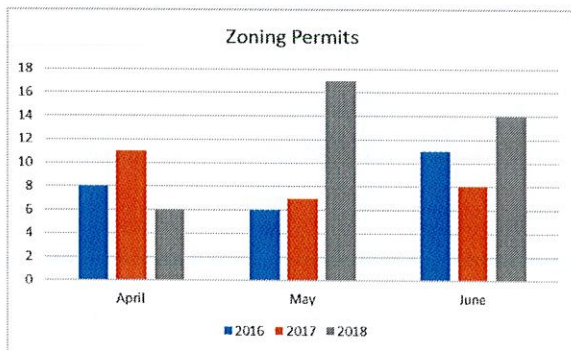
Director Kernosky has begun to develop a Bicycle and Pedestrian Plan for the City. He will be working closely with PRC Manager Everett and the PRC Board to identify goals and objectives to increase our non-motorized transportation options within the City of Isanti. Great strides in identifying underserved areas of the City's sidewalk infrastructure has already taken place, and identifying future connectivity is the next step. It's expected that a final product to be completed by fall of 2018 and can be used for future sidewalk and multi-modal path development for the next 10-20 years once adopted.

Bike Friendly Community

The City has submitted the Bicycle Friendly Community application. Awards, if selected, will occur in fall of 2019.

Zoning

The City has issued 37 total zoning permits in the second quarter of 2018. Zoning permits include fences, driveway replacements, sheds, and patios. Below, you'll find a chart with a quarter 2 comparison from 2016-2018.



Code Enforcement

Code Enforcement is an important part of the Community Development Department. Up until this year, the City had a part-time Code Enforcement/Zoning Technician, that position has been rolled into the 'Planner' position held by the same individual, Matt Lindholm who is now full-time. Typical quarter 2 code enforcement issues include illegal parking and storage of vehicles, unlicensed vehicles or missing plates, junk/brush nuisances, long grass, and noxious weeds.

Other Department Activities & Updates

- Kwik Trip has very recently begun construction, they are expecting an early 2019 opening.
- Best Western Plus is well underway.

- Circle B Ranch is continuing to work on financing.

- Community Development continues to enforce MS4 standards in anticipation for the September 2018 deadline. Every new single-family home is required to have a pre-construction inspection, the City looks at erosion control and illicit discharge prevention, building setbacks, curb stop placement, and sidewalk/curb condition.
 - o FYI – The City Council has authorized the hiring of a part-time MS4 Technician. This position has been posted and will close on August 31, 2018.

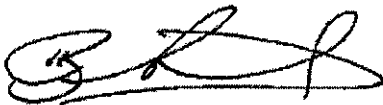
- Matt Lindholm joined the department in 2015 as the part-time Code Enforcement/Zoning Technician. With former Building Official Nick Henly leaving and the contracting of Building Inspection services with MNSpect, the City felt it was necessary to make Mr. Lindholm full-time to assist with building permits, residential zoning, and code enforcement. He began his full-time position at the end of March.

- MNSpect is in the City everyday for inspections. Tracy Reimann and Karl Horning are the City's main building inspectors. Starting September 1, 2018 MNSpect will no longer be holding scheduled office hours. Because of MNSpect's staff, the City has recently become a delegated plumbing review community, allowing us to perform commercial and industrial plumbing review instead of sending it to the State.

- Work on the 5th Avenue and Richard Ave extensions is expected to begin mid-September.

CD Staff continues to provide assistance and guidance to residents, builders, developers, and anyone who has questions! Summer of 2018 has shown to be busy as we continue to make our City a "Community for Generations."

Respectfully Submitted,



Ryan Kernosky, MPA
Director of Community Development
rkernosky@cityofisanti.us
763-444-5512



**CITY OF ISANTI
SPECIAL PLANNING COMMISSION MEETING
TUESDAY, September 11, 2018
7:00 P.M.
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

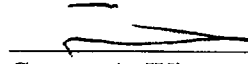
1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
2. Approval of the Agenda
3. Meeting Minutes
 - A. Approval of Minutes from the August 21, 2018 Planning Commission
4. Oath of Office for New Planning Commissioner – Arissya Simon
5. Public Hearings
(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)
 - A. Request from Odyssey Homes, Inc for approval of the Preliminary Plat of Legacy Pines Subdivision for the land legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota.
6. Discussion Items
 - A. None.
7. Adjournment

**CALL FOR A SPECIAL MEETING OF THE CITY OF ISANTI PLANNING
COMMISSION**


ISANTI, MINNESOTA

I, George A. Wimmer, Mayor and Chairman of the Planning Commission of the City of Isanti, Minnesota, pursuant to M.S. 412.191 and City Code Chapter 8-12, C. call for a Special Meeting of the Isanti Planning Commission on September 11, 2018 at 7:00 p.m., in the Isanti City Council Chamber for the purpose of holding a public hearing and considering a preliminary plat for Odyssey Homes, INC. for a preliminary plat approval of 'Legacy Pines Subdivision' for the property legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Minnesota.

Dated: August 27, 2018



George A. Wimmer
Mayor/Chairman of the Planning Commission

ATTEST:


Ryan Kernosky
Secretary of the Planning Commission

PUBLIC NOTICE
SPECIAL MEETING OF THE CITY OF ISANTI PLANNING COMMISSION
TUESDAY SEPTEMBER 11, 2018 – 7:00 P.M.
ISANTI CITY HALL - CITY COUNCIL CHAMBER
110 1ST AVE NE ISANTI, MN 55040

Notice is hereby given that the City Planning Commission of the City of Isanti will hold a special meeting on September 11, 2018 at 7:00 p.m. or shortly thereafter to hold a public hearing regarding a request from Odyssey Homes, INC. for a preliminary plat approval of ‘Legacy Pines Subdivision’ for the property legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Minnesota.

BY THE ORDER OF THE PLANNING COMMISSION OF THE CITY OF ISANTI, MN
DATED THIS 24TH DAY OF AUGUST, 2018.

/s/ Ryan Kernosky

Secretary of the Planning Commission

ITEM 3A

**CITY OF ISANTI
PLANNING COMMISSION
AUGUST 21, 2018**

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:17 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley, Joey Lemay.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Motion by Lundeen, seconded by Lorinser to adopted the agenda, approved unanimously.

2. Approval of the Minutes from the July 17, 2018 Planning Commission

Motion by Lorinser, seconded by Lundeen to approve the minutes from the July 17, 2018 Planning Commission meeting, approved unanimously.

3. Public Hearings

A. None

4. Discussion Items

A. 2018 Quarter 2 Community Development Director's Report

Community Development Director Kernosky provided his 2nd quarter Community Development Report. Mayor Wimmer asked Director Kernosky to discuss what the MS4 Technician will be, and why we need it. Director Kernosky stated that the MPCA designated the City of Isanti to become an MS4 (Municipal Separate Storm Sewer System) community, and this unfunded mandate requires we rigorously enforce State standards to prevent illicit discharge from entering into our storm sewer system. Due to the large amount of new construction, the City budget for a part-time MS4 Technician to assist with enforcement and reporting.

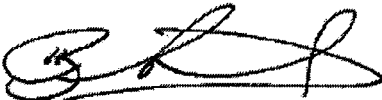
5. Adjournment

Motion by Lundeen, second by to Lorinser to adjourn the August 21, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:22 p.m.

Dated at Isanti, Minnesota this 22nd day of August, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director

OATH OF OFFICE

I, **Arissya Simon**, solemnly swear that I will support the constitution of the United States and of the State of Minnesota and to discharge faithfully my duties of the office of Planning Commissioner of the City of Isanti in the County of Isanti and State of Minnesota, to the best of my judgement and ability. So help me God.

Signature

Date

ATTEST:

Ryan Kernosky
Secretary of the Planning Commission

Date

ITEM 5A

Public Notice

City of Isanti
Planning Commission
Public Hearing on September 11, 2018

NOTICE IS HEREBY GIVEN that on Tuesday September 11, 2018, at 7:00 p.m., at the Isanti City Hall located at 110 First Avenue NW, Isanti, Minnesota; the Planning Commission of the City of Isanti will hold a Public Hearing on the following item:

1. Request from Odyssey Homes, Inc for approval of a Preliminary Plat of Legacy Pines Subdivision for the land legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Minnesota.


BY ORDER OF THE CITY OF ISANTI, MINNESOTA.

Ryan Kernosky
Community Development Director



MEMORANDUM

TO: Planning Commission Members

FROM: Ryan Kernosky, Community Development Director 

DATE: September 11, 2018

SUBJECT: **PUBLIC HEARING – REQUEST FROM ODYSSEY HOMES, INC FOR APPROVAL OF A PRELIMINARY PLAT OF LEGACY PINES SUBDIVISION FOR THE LAND LEGALLY DESCRIBED AS OUTLOT B, VILLAGES ON THE RUM THIRD ADDITION 2ND REPLAT PARK ADDITION, ISANTI COUNTY, ISANTI, MINNESOTA**

Background

Odyssey Homes, Inc (applicant) has submitted a completed application and paid applicable fees for a preliminary plat known as “Legacy Pines” for the property legally described as Outlot B of Villages on the Rum Third Addition, 2nd Replat Park Addition. In June 2003, the City entered into a Development Agreement with the previous developer, Ferraro and Iverson, LLC. This original development agreement included the original Planned Unit Development (PUD) for the Villages on the Rum Development. During the 2008 economic recession, the original developer lost the property and until recently, it was owned by Premier Bank.

Premier Bank requested an amended to the PUD, which was approved in 2010 via Resolution No. 2010-111. The 2010 amendment included several items, some of which dedicated Legacy Park to the City along with a lot for a future park entrance/parking area, specific home and garage sizes to be constructed, and a required tree preservation plan. Due to various economic challenges following the economic recession of 2008, Premier Bank never acted upon the approved amendment.

In June of 2018, Premier Bank sold the property to Odyssey Homes, Inc for the future development of the property. The aforementioned development agreements and PUD requirements remain with the property.

Request

The applicant has submitted a preliminary plat for a phased approach development, Planning Commissioners will notice that the applicant has submitted a conceptual plan for the remaining portions of the property that will be developed at later phases. Phase I includes extending Bellaire

Blvd NW to service a proposed 23 additional lots and extending Moline Loop NW to service a proposed 21 lots. Once complete, the development may include 177 lots.

Development and Operations Advisory Committee Recommendation

DOAC met on August 23, 2018 and September 6, 2018 to review the preliminary plat, and has recommended approval.

Staff Comments

General Comments –Overall, the proposed phase I of the subdivision is consistent with the overall design of the development, and the 2010 PUD Amendment.

City staff has requested that water is looped from Bellaire Blvd NW to Whiskey Rd NW as part of phase I, and that future right-of-way is dedicated to the City and various outlots are created for future phases.

Comprehensive Plan – This proposal is consistent with the City’s 2008 Comprehensive Plan Future Land-Use Map, which identifies this parcel as low and medium density residential for future development.

Public Hearing Notice – Notice of this hearing was published in the *Isanti County News* on August 30, 2018, property owners within 350’ of the subject site were provided written notification as required by City Code.

Public Comments – Staff has received written comment from a few citizens, those providing comment stated that they were saddened to see the open space become developed, and hoped that the existing ponds (storm water retention ponds) would be retained.

Certificate of Taxes Paid - As of September 4, 2018, ½ of the property’s taxes have been paid. Per City Code and County policy, the applicant will need to pay the remaining balance by the time the final plat is recorded.

Deadline for City Council Action – The City of Isanti received a complete application for this request on August 21, 2018. Per State Statute, the City Council must act upon this by December 20, 2018.

City Engineers Recommendation

City Engineer Brad DeWolf and Jason Cook reviewed the document, their recommendations are outlined in Exhibit A, attached to this document.

Staff Recommendation

I am recommending approval of the preliminary plat with the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent developments will require additional Development Agreements as the property is built out.

Development fees will be charged to the developer at the time of each development agreement and based upon the City Fee Schedule.

2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. The developer shall dedicate City Right-of-Way for the extension of Bellaire Blvd NW to Whiskey Rd NW to allow for the installation of a water main extension at the developers cost.
4. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.
5. The home sizes shall be consistent with Resolution No. 2010-111, amending the original PUD.
6. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the building on either side of the vacant lot.
Side yard setback:	Ten (10) feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
7. A tree preservation plan shall be prepared by the developer and submitted to the City of Isanti for those portions of the development site that have significant tree stands. Such plans shall show the locations of homes and grading for these lots, so as to protect as many of these trees as possible.
8. Installation of a temporary bituminous cul-de-sac at the end of Phase I roads, built to meet City Standards.
9. Dedication of a temporary cul-de-sac easement to the City of Isanti.
10. City of Isanti will need to vacate portions of an existing utility and access easements within the property.
11. Dedication, if required, of utility and access easements are granted to the City of Isanti.
12. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.

13. Address items of importance identified in the Memorandum from City Engineers Brad DeWolf and Jason Cook dated August 28, 2018 to CD Director Ryan Kernosky.
14. Dedicate 33' of Right of Way along 3rd Ave NW to the City of Isanti.

Options & Proposed Motion Language

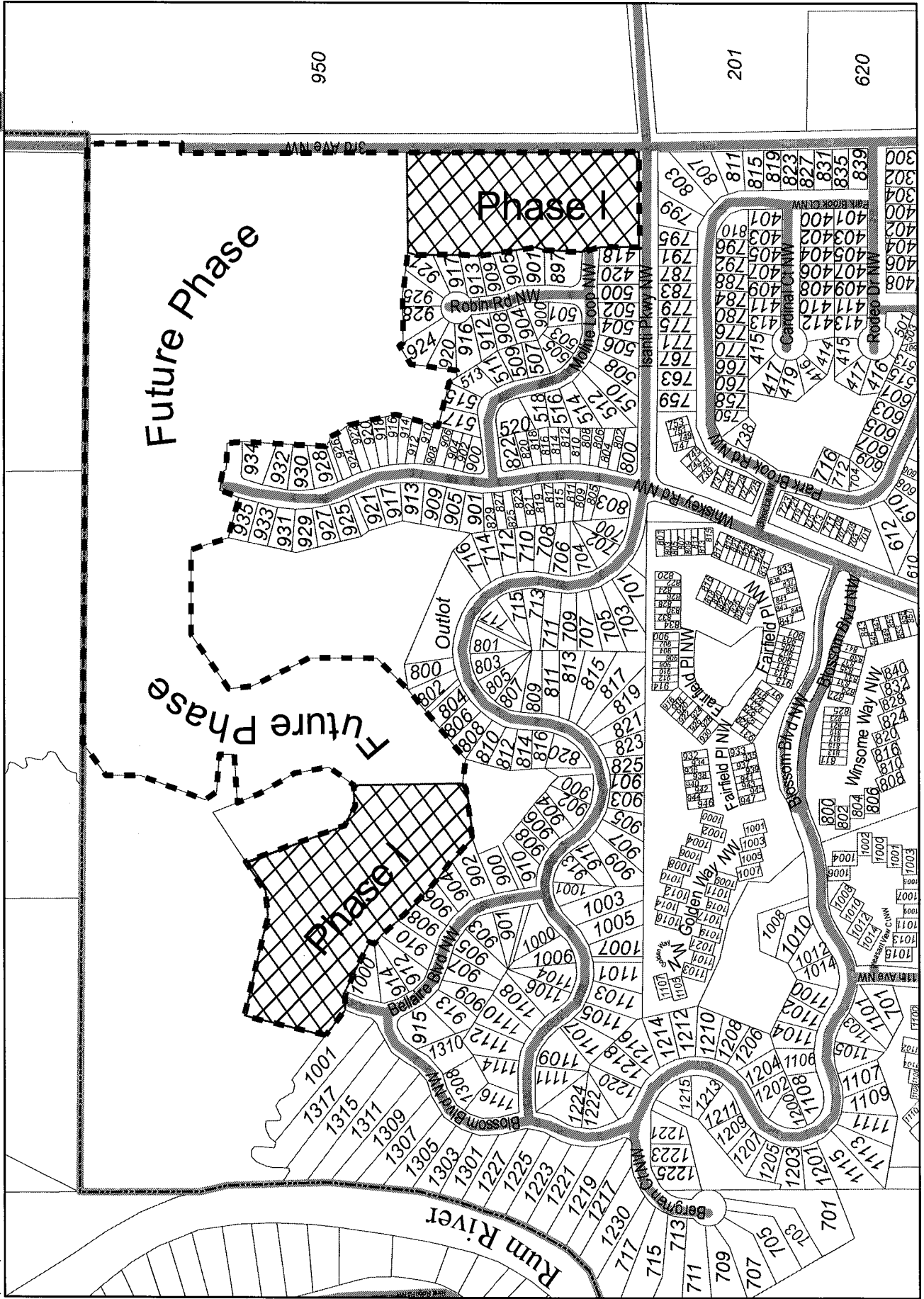
1. Recommend Approval with No Conditions: Motion to recommend approval of the request from Odyssey Homes, Inc, for Preliminary Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota.
2. Recommend Approval with Conditions: Motion to recommend approval of the request from Odyssey Homes, Inc, for Preliminary Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota. with the following conditions.....
3. Recommend Denial: Motion to recommend denial of the request from Odyssey Homes, Inc, for Preliminary Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota. for the following reasons.....
4. Table: Motion to table the request from Odyssey Homes, Inc, for Preliminary Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota. (a specific reason and information request should be included in the motion to table).

Attachments

- Exhibit A – Engineers Report dated August 28, 2018
- Resolution No. 2018-XXX
- Findings of Fact & Conclusion
- Preliminary Plat for Legacy Pines as prepared by Hakanson Anderson dated 9-5-2018

PUBLIC HEARING LOCATION MAP
ODYSSEY HOMES, INC PRELIMINARY PLAT

Legend
Subject Parcel
City Limits



RESOLUTION NO. 2018-XXX

**A RESOLUTION APPROVING THE PRELIMINARY PLAT
OF LEGACY PINES**

WHEREAS, Odyssey Homes, Inc, has made application for Preliminary Plat Approval for Legacy Pines; which is legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota; and,

WHEREAS, the Isanti Planning Commission conducted a public hearing on the Preliminary Plat on September 11, 2018 during a Special Meeting of the City Planning Commission; and,

WHEREAS, all required public notices regarding the public hearing were posted and sent; and,

WHEREAS, the Isanti Planning Commission had recommended approval of the requested Preliminary Plat based upon the Findings of Fact and Conclusion as presented; and,

WHEREAS, the City Council reviewed the Preliminary Plat request at its meeting on September 18, 2018; and,

NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota, that it adopts the Findings of Fact and Conclusion related to the requested Preliminary Plat of Legacy Pines. **BE IT FURTHER RESOLVED** that the requested Preliminary Plat Approval from Odyssey Homes, Inc, be approved with the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent developments will require additional Development Agreements as the property is built out. Development fees will be charged to the developer at the time of each development agreement and based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. The developer shall dedicate City Right-of-Way for the extension of Bellaire Blvd NW to Whiskey Rd NW to allow for the installation of a water main extension at the developers cost.
4. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.
5. The home sizes shall be consistent with Resolution No. 2010-111, amending the original PUD.
6. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the building on either side of the vacant lot.
Side yard setback:	Ten (10) feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
7. A tree preservation plan shall be prepared by the developer and submitted to the City of Isanti for those portions of the development site that have significant tree stands. Such plans shall show the locations of homes and grading for these lots, so as to protect as many of these trees as possible.

8. Installation of a temporary bituminous cul-de-sac at the end of Phase I roads, built to meet City Standards.
9. Dedication of a temporary cul-de-sac easement to the City of Isanti.
10. City of Isanti will need to vacate portions of an existing utility and access easements within the property.
11. Dedication, if required, of utility and access easements are granted to the City of Isanti.
12. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.
13. Address items of importance identified in the Memorandum from City Engineers Brad DeWolf and Jason Cook dated August 28, 2018 to CD Director Ryan Kernosky, as marked as Exhibit A in this document.
14. Dedicate 33' of Right of Way along 3rd Ave NW to the City of Isanti.

Adopted by the Isanti City Council on this 18th day of September, 2018.

Attest:

Mayor George A. Wimmer

Katie Brooks
Human Resources/City Clerk

(SEAL)

EXHIBIT A

MEMORANDUM

Date: August 28, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E.
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Legacy Pines - Preliminary Plat Review
City of Isanti, MN
Project No.: R13.113062

We have reviewed the Preliminary Plat and supporting documents entitled "Legacy Pines" received on August 21, 2018 with a signature date of 8/10/2018.

The preliminary plat includes the construction of 177 single family lots, extension of city streets and utilities and site and storm water pond grading.

Also submitted were a stormwater management plan, a stormwater pollution prevention plan, wetland delineation report, geotechnical exploration, and the site development and phase 1 construction plans.

We have reviewed the submitted documents and have the following comments:

Preliminary Plat:

1. Block numbers are not clearly labeled.
2. Show drainage & utility easements where pond grading extends onto parcels (ex. PP-1).
 - a. Final plat will require drainage and utility easements over the existing storm sewer pipes in the outlot, all proposed utilities in the outlot, and a drainage easement over the Phase 1 ditch and any ponds that are constructed.

Stormwater Management Plan:

3. Atlas-14 storm event modeling is required.
4. Subcatchments for each CB needs to be shown.
5. Submit spread calculations at each catch basin.
6. Submit pipe sizing calculations for all storm pipes.

Storm Water Pollution Prevention Plan:

7. Submit a soils map showing the existing soil types within the construction limits
8. Submit a one-mile boundary figure of the proposed project and identify all receiving waters within that boundary as well as noting if they are a special or impaired water.

Wetland Delineation Report:

9. Submit report to LGU and possibly the Corps of Engineers for review and approval prior to performing any excavations in the identified areas.

Geotechnical Evaluation:

10. Organic soils shall be removed from below the proposed roadway sections. The City will not accept additional risk of failure as noted in the report.

Site Development and Phase 1 Construction Plans:

11. Make the work to be performed in Phase 1 clearer throughout planset.
 - a. Show sewer, water, and storm as future where not included in phase 1.
12. Grading for PP-1 is not shown in phase 1 construction on sheet 20A. The trench does not have a point of discharge.
13. The pavement section shall be:
 - a. 1.5-inches of bituminous wear course
 - b. 2-inches of bituminous non-wear course
 - c. 8-inches of aggregate base class 5
14. Vertical curve lengths shall be 90' minimum (30 mph minimum design).
15. Sewer & water services shall be placed near property corners, not center of lots.
16. Proposed contours do not connect at the end of each block.
17. Show proposed flow arrows in erosion control plan.
18. Show emergency overflow locations and stabilization for all pond EOFs.
19. Show riprap at all apron outlets.
20. Low points shown at the back of multiple building pads. Back yards need to have positive drainage away from building pads.
21. Need signing and striping plan.
 - a. Include signage at the end of the temporary cul-de-sacs as shown in detail.
 - b. Include advisory speed and curve signs where horizontal curve is under 300' (30 mph design)
22. Convert storm manhole to catch basin at approximate STA 1+40
23. Note tree protection areas. Show tree protection fencing where needed.
24. Show street lighting plan.

Permits (To be completed prior to construction):

25. NPDES - Construction Storm Water General Permit

26. LGU and Army Corps of Engineers – Wetland Delineation
27. Minnesota Department of Health - Watermain Extension Permit
28. MPCA – Sanitary Sewer Extension Permit
29. DNR Dewatering Permit and Water Appropriations Permit – if planning to withdraw more than 10,000 gal water per day or 1 million gal water per year.
30. City Grading Permit
31. Army Corps of Engineers Section 404 Permit – if filling existing wetlands.

We recommend approval of the preliminary plat once the above items are addressed.

Please contact me if you have any questions.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, September 18, 2018
7:00 P.M.
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Approval of the Agenda

3. Meeting Minutes
 - A. Approval of Minutes from the September 11, 2018 Special Planning Commission

4. Public Hearings

(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)

 - A. Request from First Fruits Land Development, LLC for Preliminary Plat Approval of "Sun Prairie Fourth Addition" for the property legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota

5. Discussion Items
 - A. None.

6. Adjournment

CITY OF ISANTI
SPECIAL PLANNING COMMISSION MINUTES
SEPTEMBER 11, 2018

ITEM 3A

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:00 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Dan Collison, Ross Lorinser, Paul Bergley, Joey Lemay.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director; Matt Lindholm, Planner.

1D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Collison, seconded by Lorinser to adopted the agenda, approved unanimously.

3. Approval of the Minutes from the August 21, 2018 Planning Commission

Motion by Collison, seconded by Bergley to approve the minutes from the August 21, 2018 Planning Commission meeting, approved unanimously.

4. Oath of Office for New Planning Commissioner – Arissya Simon

Arissya Simon recited the Oath of Office for Planning Commissioner. Subsequent to the Oath, Commissioner Simon took her seat on the Planning Commission.

5. Public Hearings

- A. Request from Odyssey Homes, Inc for approval of the Preliminary Plat of Legacy Pines Subdivision for the land legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota

Director Kernosky presented his staff memorandum on the proposed Preliminary Plat of Legacy Pines Subdivision. He stated that this is part of the original Villages on the Rum Development, and that the proposed subdivision is a phased approach with a different subdivision name. Kernosky continued to stated that the proposed phase one would extend Bellaire Blvd NW to service an additional 23 lots, and extending Moline Loop NW to service 21 lots. Kernosky advised that this project is part of the 2010 PUD amendment to Village on the Rum, and that this proposed phase one development is consistent with that PUD amendment. Kernosky stated that there were a number of conditions put on by City and engineering staff. Staff is recommending approval with those conditions.

Mayor Wimmer opened the public hearing at 7:02 p.m.

Maureen Williams, 913 Robin Rd NW – Ms. Williams stated that phase one will be in her back yard. She expressed concern about the traffic load that will result in phase one. Ms. Williams continued, and asked whether or not Moline Loop NW would connect to Third Ave NW during phase one.

Mayor Wimmer stated that eventually this will be connected up and around to Whiskey Rd and Third Ave.

Director Kernosky stated that Robin Rd NW is a cul-de-sac and that the Moline Loop NW portion of phase one will develop along the north-side of Robin Rd NW. Kernosky stated that Moline Loop NW will not open up to Third Ave NW until a later phase, with the installation of Blue Bird Way NW. Kernosky also stated that Bellaire Blvd NW will not connect to Whiskey Rd during phase one.

Ms. Williams questioned how many homes were completed on the north-end of Whiskey Rd NW during this year. Director Kernosky stated that 8 homes were completed or under construction this year along the north-end of Whiskey Rd NW. Ms. Williams inquired about the number of homes in phase one along Moline Loop NW, she also stated that with the additional personal vehicle traffic as a result of the phase one expansion, it will add additional load of traffic to the Whiskey Rd NW and Moline Loop NW intersection. She stated she was concerned about this. Mayor Wimmer stated that this will be built out and will work once complete.

Ms. Williams inquired whether or not her concerns about having additional access to the neighborhood can be discussed at this time.

Director Kernosky reminded the audience and Commission that it is within the purview of the Commission to add that condition, advising that the Commission may want to ask the developer if they would be interested in adding an additional access point during phase one.

Commissioner Leymay added that he lives near Ms. Williams and agrees that it would add additional traffic to the area, and that he has concern for the children due to blind spots on Moline Loop NW.

George Heman, 323 Palomino Rd SE – Mr. Heman asked about park land that would be set aside for the completed development, or if there's any open space plan.

Mayor Wimmer stated that Legacy Park was donated to the City to be part of this development. He also stated that there's park and recreation fees that the developer will have to pay for the creation of future parks.

Mr. Heman expressed concern that the current developer has put no finances towards the existing Legacy Park. Mayor Wimmer explained that the development agreement included dedicating park land to the City, and that this development was subject to that development agreement.

Director Kernosky stated that Legacy Park was donated to the City in 2010 during the first development attempt of this area by the Bank. Kernosky stated that because Legacy Park is a community park and that the Soccer Complex is close to the development, staff does not believe there's an additional need for park space.

Mr. Heman had a question pertaining to the access points for the development. Mayor Wimmer stated that there's going to be connection to Third Ave NW and Whiskey Rd NW. Mr. Heman asked about the number of phases and how many lots would be developed throughout the project and when. Mayor Wimmer and Director Kernosky stated that the future phases will occur when the market dictates demand.

Mr. Heman also asked what the price of the lots will be. Mayor Wimmer stated that the City does not get into that discussion and advised Mr. Heman to discuss it directly with the developer.

Mayor Wimmer declared the public hearing closed at 7:15 p.m.

Jason Bebeau of Odyssey Homes, Inc. approached the microphone. Mayor Wimmer inquired about the traffic and road access concerns. Mr. Bebeau stated that the additional access would most likely occur in the spring under phase two, but not during phase one.

Mayor Wimmer advised Mr. Bebeau that the City Council will need an idea of how much additional traffic will occur as a result of phase one. Commissioner Collison stated that this number will also depend on how many lots are sold and build in phase one.

Commissioner Lorinser stated that there were only four lots between the end of phase one and the proposed access to Third Ave NW. Lorinser asked if it would be excessive to get that road extension done during phase one.

Mayor Wimmer asked about the future phases. Mr. Bebeau stated that the market dictates when the rest of the phases will get completed, however, he hoped for forty lots at a time. Mr. Bebeau stated that there will

be between 174 and 177 total lots once complete. He also stated he hopes to get phase two in this upcoming winter.

Commissioner Collison asked about access to Third Ave NW. Director Kernosky stated that a connection would occur about 200' south of the driveway into Isanti Soccer Complex.

Motioned by Bergley seconded by Lorinser to recommend approval of the preliminary plat, with questions regarding the traffic and access brought up during the public hearing is addressed by the applicant. Motion passed unanimously.

6. Discussion Items

None

7. Adjournment

Motion by Lorinser, second by to Collison to adjourn the September 11, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 7:21 p.m.

Dated at Isanti, Minnesota this 12th day of September, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director

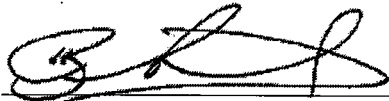
Public Notice

City of Isanti
Planning Commission
Public Hearing on September 18, 2018

Notice is hereby given that on **Tuesday, September 18, 2018, at 7:00 P.M. or shortly thereafter, at the Isanti City Hall located at 110 First Avenue NW, Isanti, Minnesota;** the Planning Commission will hold a Public Hearing on the following item(s):

- 1) Request from First Fruits Land Development, LLC for the approval of a 9-lot preliminary plat for the property legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota.

BY ORDER OF THE CITY OF ISANTI, MINNESOTA.




Ryan J. Kernosky
Community Development Director



MEMORANDUM

TO: City Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: September 18, 2018

SUBJECT: **REQUEST FROM FIRST FRUITS LAND DEVELOPMENT, LLC FOR PRELIMINARY PLAT APPROVAL OF "SUN PRAIRIE FOURTH ADDITION" FOR THE PROPERTY LEGALLY DESCRIBED AS OUTLOT G, SUN PRAIRIE FIRST ADDITION, ISANTI COUNTY, ISANTI, MINNESOTA**

Background

First Fruits Land Development, LLC (applicant) has submitted a completed application and paid applicable fees for a Preliminary Plat known as "Sun Prairie Fourth Addition" for the property legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota. This development is part of the Sun Prairie Subdivision development done in 2005. This development has existing infrastructure and is covered by the original development agreement for the Sun Prairie First Addition. As such, the signal light fees have been paid at the time of the platting.

The following fees are due at the time of the final platting:

Park Dedication Fee: 9 lots at \$1,500 = \$13,500

Trunk Sewer Charge: 9 lots at \$1,000 = \$9,000

Request

The applicant is requesting the subdivision of one Outlot into 9 parcels abutting 9th Ave SE. The applicant had previous preliminary plat approval to develop this property, however, did not act upon it within the required timeline. The parcels range in size from 11,056 sq ft to 12,319 sq ft, homes in the R-1 Zoning District must meet the following requirements:

Lot Requirements:

Size: Minimum 11,000 sq ft

Width: Corner – 95 ft, other – 80 feet

Depth: 137 ft

Home Requirements:

Home Size: Minimum 1,200 sq ft

Garage Size: Minimum 720 sq ft

Development and Operations Advisory Committee Recommendation

DOAC met to discuss this item on August 23, 2018, and has recommended approval.

Staff Comments

Comprehensive Plan – This proposed development is consistent with the City 2008 Comprehensive Plan and development plan of this area.

Public Hearing Notice – Notice of this hearing was published in the *Isanti County News* on September 6, 2018, property owners within 350’ of the subject site were provided written notification dated September 7, 2018 per City Code.

Public Comments – At the writing of this staff report, no public comment has been received.

Certificate of Taxes Paid – Per Isanti County, taxes on this property have been paid in full.

Deadline for City Council Action – A complete application was submitted on August 16, 2018. As such, the City Council has until December 17, 2018 to take action on this item.

City Engineer Recommendation

City Engineer Brad DeWolf and Jason Cook reviewed the application and have recommended approval.

Staff Recommendation

Staff recommends approval as presented.

RESOLUTION NO. 2018-XXX

**A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR SUN PRAIRIE
FOURTH ADDITIONI**

WHEREAS, First Fruits Land Development, LLC has made application for Preliminary Plat Approval for Sun Prairie Fourth Addition, legally described as Outlot H, Sun Prairie First Addition, Isanti County, Isanti, Minnesota; and,

WHEREAS, the Isanti Planning Commission conducted a public hearing on the Preliminary Plat on September 18, 2018; and,

WHEREAS, all required public notices regarding the public hearing were posted and sent to property owners within 350' of the subject parcel; and,

WHEREAS, the City Council reviewed the Preliminary Plat request at the October 2nd, 2018 meeting.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Isanti, Minnesota that it hereby adopts the Findings of Fact and Conclusion related to the requested Preliminary Plat and **BE IT FURTHER RESOLVED** that the requested Preliminary Plat Approval for Sun Prairie Fourth Addition from First Fruits Land Development, LLC be approved.

Adopted by the Isanti City Council this 2nd day of October, 2018.

Mayor George A. Wimmer

ATTEST:

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from First Fruits Land Development LLC for Preliminary Plat approval of the Plat of Sun Prairie Fourth Addition, legally described as Outlots H, Sun Prairie First Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

1. The applicant, First Fruits Land Development LLC ('the applicant'), has made application for Preliminary Plat Approval of Sun Prairie Fourth Addition, Isanti County, Minnesota.
2. The property is legally described as Outlot H, Sun Prairie First Addition, Isanti County, Minnesota.
3. The Applicant is requesting Preliminary Plat Approval in an effort to create 9 single-family lots.
4. The property is zoned "R-1" Single-Family Residential District.
5. A preliminary plat is considered a major change requiring a public hearing and notification of all property owners within 350'; and final approval by the City Council.
6. The Applicant submitted an application for Preliminary Plat Approval on August 16, 2018.
7. A public hearing date before the Planning Commission was scheduled for Tuesday, September 18, 2018 at 7:00 p.m. at City Hall within the Council Chambers.
8. Notices were sent to all property owners located within the development and within 350 feet of the subject property.

Conclusions

1. The platting of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the "R-1" Single-Family Residential Districts.
2. The platting of the property would appear to meet the Design Standards as required by Ordinance No. 536.

Decision

The Planning Commission held a public hearing on the item at the **September 18, 2018** meeting. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.

Planning Commission Recommendation:




Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: September 5, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E. 
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Sun Prairie Fourth Addition, Preliminary Plat Review
City of Isanti, MN

We have reviewed the Preliminary Plat for the proposed Sun Prairie Fourth Addition created by LHB with a signature date of June 20, 2018 that was re-submitted to the City on August 23, 2018.

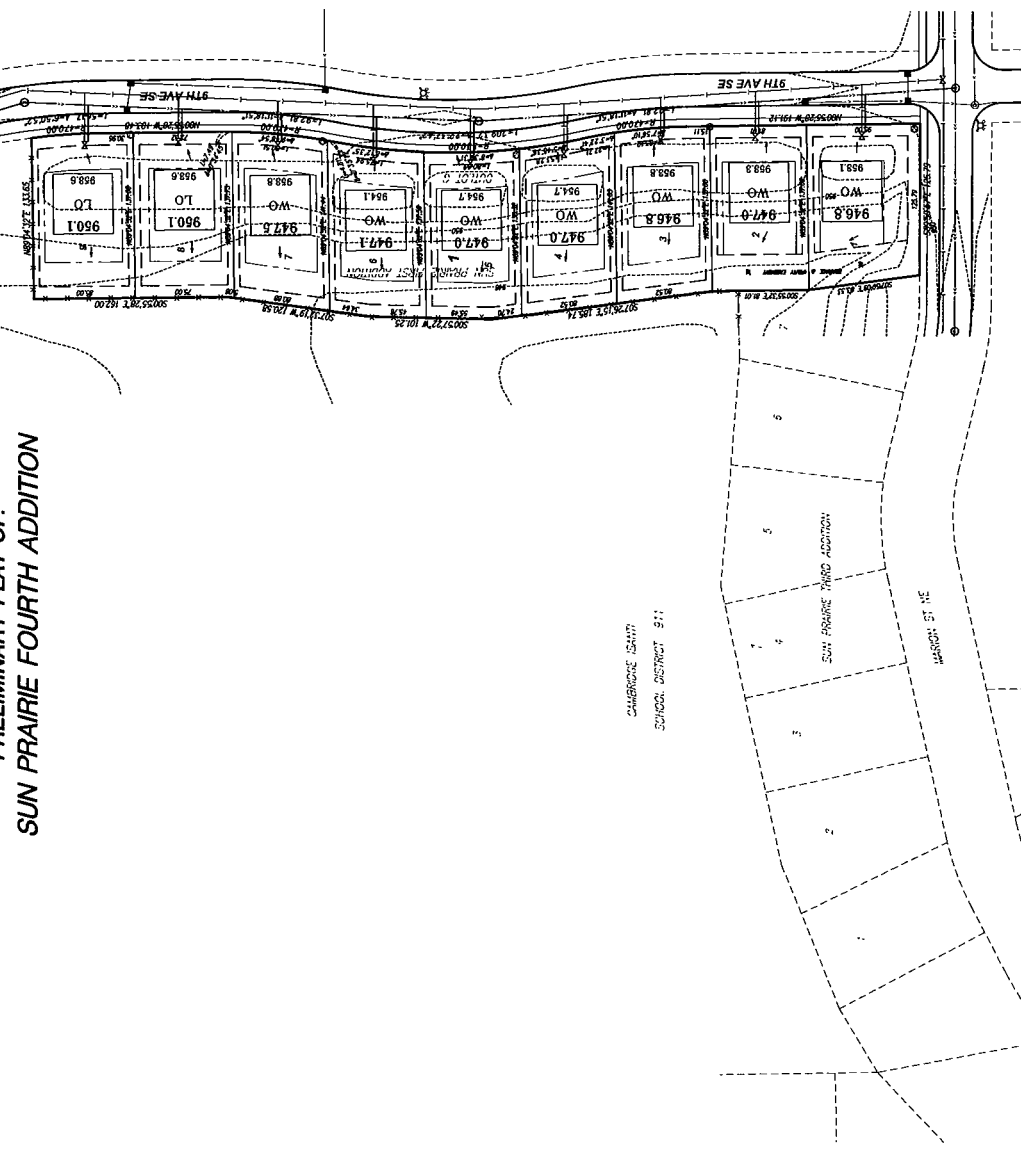
The preliminary plat includes 9 residential lots with proposed building pads, drainage and utility easements, building setback lines, and parcel lines.

We have reviewed the submitted preliminary plat and have no additional comments.

We recommend approval of the preliminary plat as submitted.

Please contact me if you have any questions.

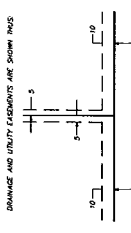
PRELIMINARY PLAT OF:
SUN PRAIRIE FOURTH ADDITION



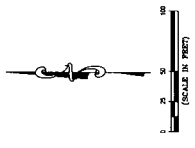
PROPERTY DESCRIPTION
Sun Prairie School Addition
Owner: Sun Prairie Park Addition
City of Sun Prairie, Wisconsin
County: Sun Prairie Park Addition

- LEGEND**
- denotes existing sanitary sewer
 - denotes existing storm sewer
 - denotes existing sanitary manhole
 - denotes existing storm manhole
 - denotes existing fire hydrant
 - denotes existing power roadway
 - denotes existing utility easement
 - denotes existing catch basin
 - denotes existing cable footprint

NOTE
ALL UTILITIES AND SANITARY UTILITIES SHOWN ON THIS PLAT ARE BASED ON THE RECORDS OF THE CITY OF SUN PRAIRIE.



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- LOT AREAS**
- Lot 1 = 0.28 Acres/12,219 S.F.
 - Lot 2 = 0.28 Acres/12,219 S.F.
 - Lot 3 = 0.28 Acres/12,219 S.F.
 - Lot 4 = 0.28 Acres/12,219 S.F.
 - Lot 5 = 0.28 Acres/12,219 S.F.
 - Lot 6 = 0.28 Acres/12,219 S.F.
 - Lot 7 = 0.28 Acres/12,219 S.F.
 - Lot 8 = 0.28 Acres/12,219 S.F.
 - Lot 9 = 0.28 Acres/12,219 S.F.

ZONING DISTRICT
R-1 SINGLE FAMILY RESIDENTIAL

LOT REQUIREMENTS
Minimum Front Yard Setback 30 Feet
Minimum Side Yard Setback 10 Feet
Minimum Rear Yard Setback 30 Feet

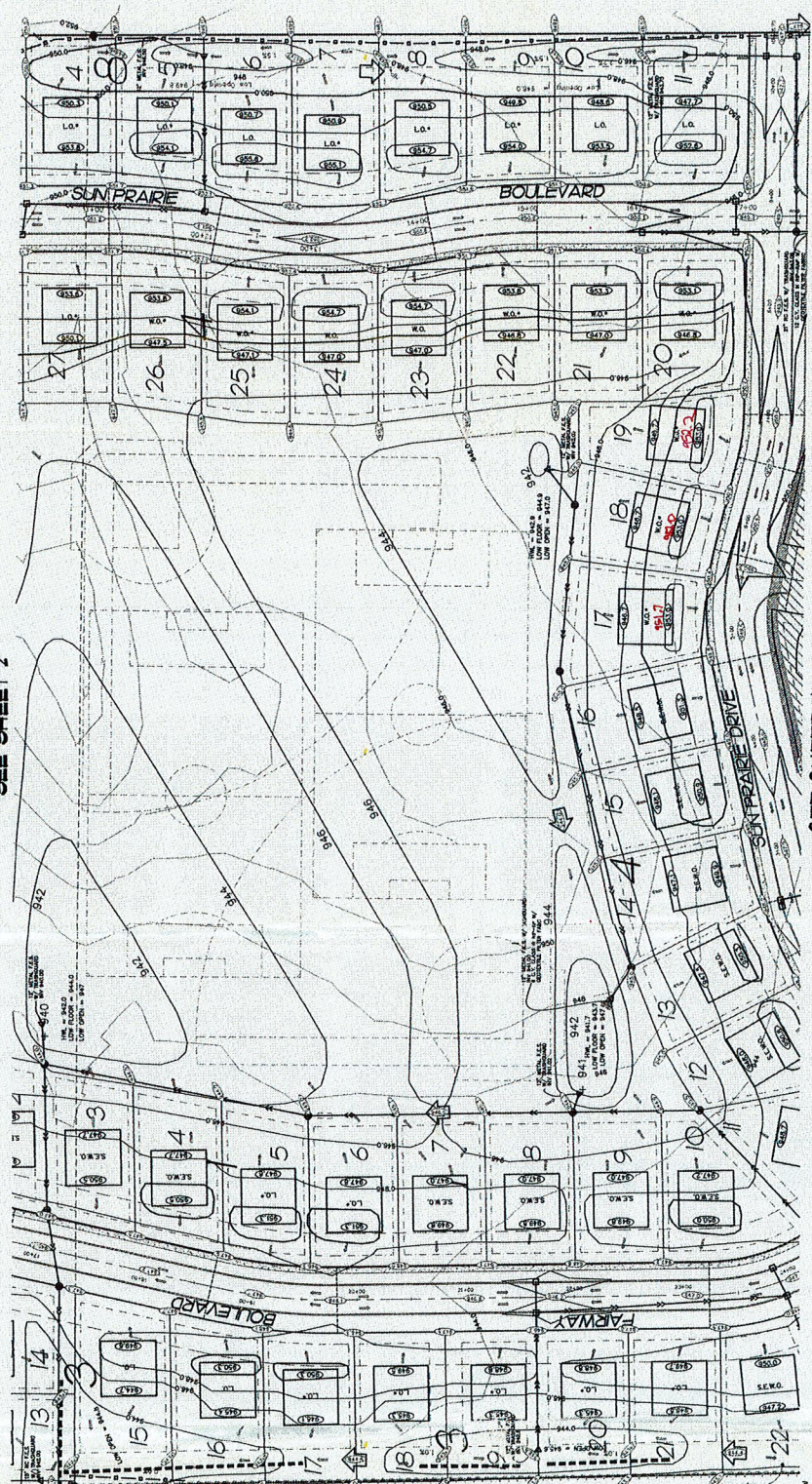
OWNER
SUN PRAIRIE PARK DEVELOPMENT, LLC
2017 WEST WISCONSIN STREET
NORTH BRANCH, WI 53056

CERTIFICATION
I, THE UNDERSIGNED, A LICENSED SURVEYOR IN THE STATE OF WISCONSIN, CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE LAWS OF THE STATE OF WISCONSIN.
DATE: 10/15/2014
BY: [Signature]



GRADING PLAN OF SUN PRAIRIE FOR: ULTHER CONSTRUCTION 1633 NE HIGHWAY 10 SPRING LAKE PARK MN. 55432

SEE SHEET 2



SEE SHEET 4

BENCHMARK INFORMATION

NAME	LOCATION	ELEVATION
SANITARY	NW 1/4 S 23, T. 25, R. 23	941.800
MANHOLE	NW 1/4 S 23, T. 25, R. 23	941.806

PROVISIONS

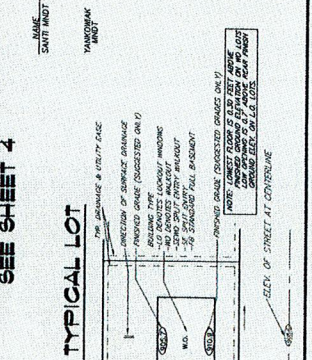
0.00 M.E. OF DEPTH AT 48 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 0.50 M.E. OF DEPTH AT 36 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 1.00 M.E. OF DEPTH AT 24 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 1.50 M.E. OF DEPTH AT 18 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 2.00 M.E. OF DEPTH AT 12 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 2.50 M.E. OF DEPTH AT 6 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 3.00 M.E. OF DEPTH AT 4 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 3.50 M.E. OF DEPTH AT 3 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 4.00 M.E. OF DEPTH AT 2 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 4.50 M.E. OF DEPTH AT 1.5 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 5.00 M.E. OF DEPTH AT 1 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 5.50 M.E. OF DEPTH AT 0.75 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 6.00 M.E. OF DEPTH AT 0.5 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 6.50 M.E. OF DEPTH AT 0.375 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 7.00 M.E. OF DEPTH AT 0.25 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 7.50 M.E. OF DEPTH AT 0.1875 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 8.00 M.E. OF DEPTH AT 0.125 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 8.50 M.E. OF DEPTH AT 0.0625 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 9.00 M.E. OF DEPTH AT 0.03125 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 9.50 M.E. OF DEPTH AT 0.015625 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9
 10.00 M.E. OF DEPTH AT 0.0078125 IN. DIA. PIPE, 0.5 M.E. OF CO. NO. 9

PROVISIONS

POUNDING CALCULATIONS AND STORM SEWER DESIGN BY PIONEER ENGINEERING, INC.

SEE PIONEER ENGINEERING, INC. 1000 W. WISCONSIN ST. SUITE 200 WISCONSIN RAPIDS, WI 53414

DATE: 12/28/05



- LEGEND**
- DENOTES EXISTING ELEVATION
 - DENOTES PROPOSED ELEVATION
 - DENOTES EXISTING CONTOUR
 - DENOTES PROPOSED CONTOUR
 - DENOTES DIRECTION OF DRAINAGE
 - DENOTES SIX/FIVE PROTECTION FENCE
 - DENOTES PROPOSED STORM SEWER
 - DENOTES EMERGENCY OVERFLOW ELEVATION
 - DENOTES 9.00 50 FT. WETLAND FILL
 - DENOTES WOOD FIBER BLANKET
 - DENOTES 4" DRAIN TILE

NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE M.S.D. SPECIFICATIONS.
2. ALL EXCAVATION SHALL BE TO A MINIMUM OF 18" BELOW FINISHED GRADE.
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10. ALL EXCAVATION SHALL BE TO A MINIMUM OF 18" BELOW FINISHED GRADE.

INTEGRATION NOTES

1. INFILTRATION BASIN TO REMAIN UNGRADED.
2. FILLING AROUND INFILTRATION BASIN. NO HEAVY EQUIPMENT SHALL BE DRIVEN OVER INFILTRATION BASIN.
3. INITIAL EXCAVATION OF BASIN TO BE CARRIED OUT TO A MINIMUM OF 18" BELOW FINISHED GRADE.
4. STABILIZATION OF UPTHEM AREA.
5. USE 1/2" SAND FOR DRESSING IN LIFT OF 1/2" SAND.
6. USE SAND/SEED MIX (NEW MIX 510) OR 20% SAND/80% SEED MIX.
7. NO MIXING OF SANDY SOIL IN INFILTRATION AREA TO BE ALLOWED.
8. INFILTRATION BASIN FLOOR OTHER THAN MEADOW OR URBAN PRAIRIE MEADOW SEED MIXTURES CAN BE USED.

GRAPHIC SCALE

1" = 10' (IN FEET)

1" = 100' (IN FEET)

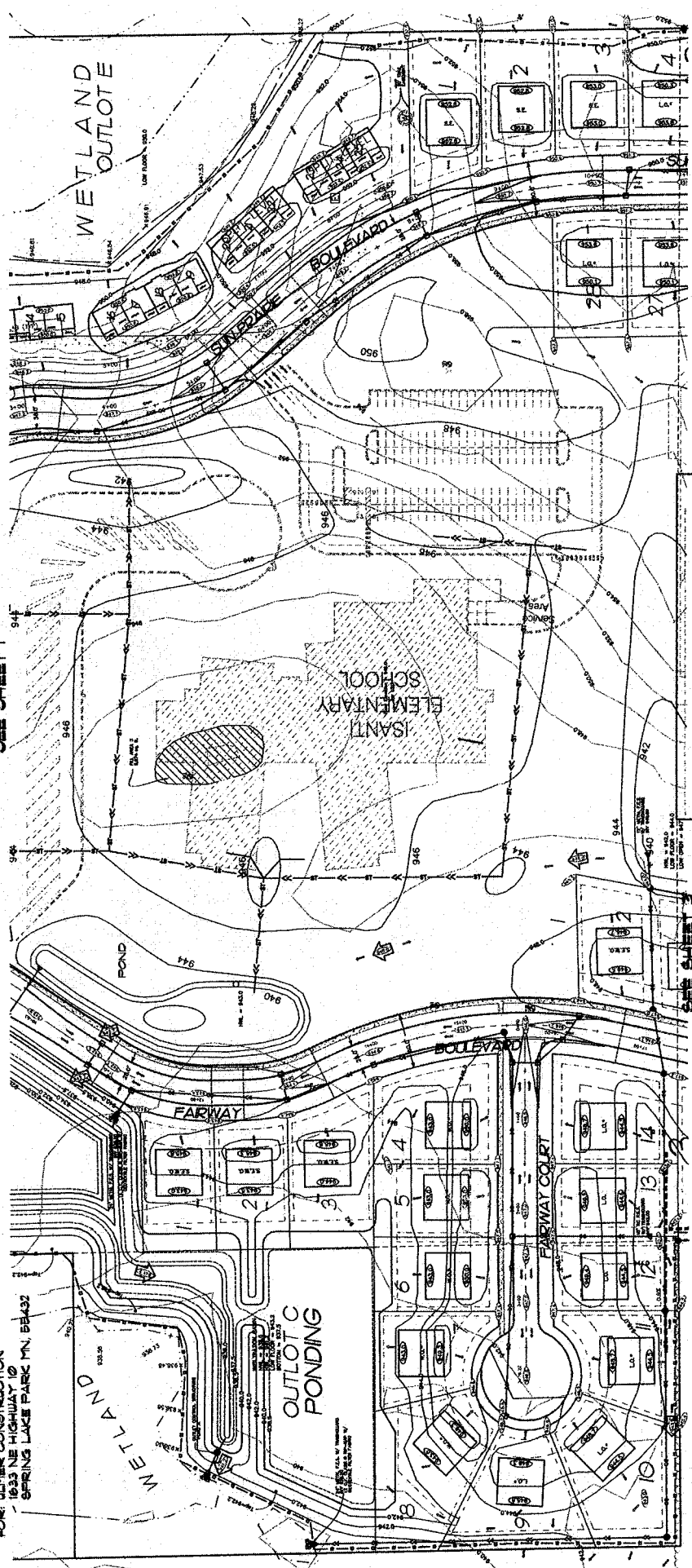
1" = 1000' (IN FEET)

DATE: 12/28/05, SHEET NO. 25/41

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

**GRADING PLAN
OF SUN PRAIRIE**
FOR ULTIMATE CONSTRUCTION
1633 NE HIGHWAY 10
SPRING LAKE PARK MN, 55432



SEE SHEET 1

SEE SHEET 3

INTEGRATION NOTES

1. INFLATATION BASIN TO REMAIN UNGRADED.
2. DRAINAGE AND/OR INFLATATION BASIN, NO HEAVY EQUIPMENT SHALL BE DRIVEN OVER INFLATATION.
3. INITIAL EXCAVATION OF BASIN TO BE CARRIED OUT WITHIN ONE FOOT OF FINAL GRADE OF LOW FLOOR.
4. ALL EXCAVATION SHALL BE TO FILLER WITH STABILIZATION OF UNDERLAYER AREA.
5. ALL EXCAVATION SHALL BE TO FILLER TO DEPTH OF 180 INCHES.
6. USE TOPSOIL COMPOSED OF 10% FINE SAND AND 90% TOPSOIL.
7. USE AMMOX SEED MIX (NEW MIX 710) ON 2500 LBS PER ACRE.
8. NO MOUND OF SANDY SOIL IN INFLATATION AREA TO BE ALLOWED.
9. FILLER SHALL BE PLACED IN INFLATATION OR URBAN PHASE MEADOW SEED MIXTURES CAN BE USED.

LEGEND

- 4' 6" 3/4" DENOTES EXISTING ELEVATION
- 4' 6" 3/4" DENOTES PROPOSED ELEVATION
- 4' 6" 3/4" DENOTES EXISTING CONTOUR
- 4' 6" 3/4" DENOTES PROPOSED CONTOUR
- 4' 6" 3/4" DENOTES SW/TIME PROTECTION FENCE
- 4' 6" 3/4" DENOTES PROPOSED STORM SENIOR
- 4' 6" 3/4" DENOTES EMERGENCY OVERFLOW ELEVATION
- 4' 6" 3/4" DENOTES 90/50 SO. FT. WETLAND PILL
- 4' 6" 3/4" DENOTES WOOD FIBER BASKET
- 4' 6" 3/4" DENOTES 4" DIAMETER TILL

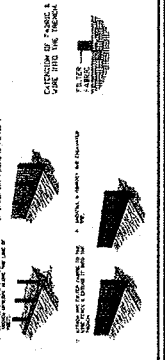


GRAPHIC SCALE
1" = 10' 0"

EROSION CONTROL NOTES

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCES IN LOCATIONS SHOWN.
2. SILT STOP FENCES SHALL BE INSTALLED WHERE LOCAL CONDITIONS REQUIRE.
3. SILT STOP FENCES SHALL BE PROTECTED BY AREA BAGS TO MINIMIZE DAMAGE.
4. 45' EACH AREA OUTSIDE THE STREET IS GRASSED, PROVIDE NATIVE TOPSOIL.
5. AFTER GRADING, TOPSOIL AND SEED SHALL BE APPLIED TO ALL EXPOSED AREAS.
6. SILT STOP FENCES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. SILT STOP FENCES SHALL BE REMOVED UPON COMPLETION OF ACCUMULATED SOIL.

CONSTRUCTION OF A SILT FENCE



BENCHMARK INFORMATION

SPRINT MONUMENT: 1633 NE HWY 10, 1633 NE HWY 10, 1633 NE HWY 10, 1633 NE HWY 10
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FORWARD CALCULATIONS BY
 FLOW ENGINEERING, INC.
 1700 LEXINGTON AVENUE, SUITE 100
 SPRING LAKE PARK, MN 55432
 DATE: 3/13/05

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**CITY OF ISANTI
SPECIAL PLANNING COMMISSION MEETING
TUESDAY, OCTOBER 2, 2018
IMMEDIATELY FOLLOWING THE ECONOMIC DEVELOPMENT AUTHORITY MEETING AT
7:00 PM
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Approval of the Agenda

3. Meeting Minutes
 - A. Approval of Minutes from the September 18, 2018 Planning Commission

4. Consideration of: Request from Odyssey Homes, Inc for approval of the Final Plat of Legacy Pines Subdivision for the land legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota.

5. Public Hearings
(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)
 - A. None.

6. Discussion Items
 - A. None.


7. Adjournment

**CALL FOR A SPECIAL MEETING OF THE CITY OF ISANTI PLANNING
COMMISSION**

ISANTI, MINNESOTA

I, George A. Wimmer, Mayor and Chairman of the Planning Commission of the City of Isanti, Minnesota, pursuant to M.S. 412.191 and City Code Chapter 8-12, C. call for a Special Meeting of the Isanti Planning Commission on October 2, 2018 at 7:00 p.m., in the Isanti City Council Chamber for the purpose of considering a final plat for Odyssey Homes, Inc. for the final plat of "Legacy Pines Subdivision" for the property legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Minnesota.

Dated: September 24, 2018



George A. Wimmer
Mayor/Chairman of Planning Commission

ATTEST:



Ryan Kernosky
Secretary of the Planning Commission

CITY OF ISANTI
PLANNING COMMISSION MINUTES
SEPTEMBER 18, 2018

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 8:02 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Steve Lundeen, Ross Lorinser, Paul Bergley, Joey Lemay, Arissa Simon.

Members Absent: Dan Collison.

Staff Present: Ryan Kernosky, Community Development Director

D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Lundeen, seconded by Lorinser to adopted the agenda, approved unanimously.

3. Approval of the Minutes from the September 11, 2018 Special Planning Commission

Motion by Lorinser, seconded by Lundeen to approve the minutes from the September 11, 2018 Special Planning Commission meeting, approved unanimously.

4. Public Hearings

A. Request from First Fruits Land Development, LLC for Preliminary Plat Approval of "Sun Prairie Fourth Addition" for the property legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota.

Director Kernosky presented his staff memorandum on the proposed Preliminary Plat.

Mayor Wimmer opened the public hearing at 8:03 p.m.

No one spoke at the public hearing.

Mayor Wimmer declared the public hearing closed at 8:03 p.m.

Motioned by Lundeen seconded by Bergley to recommend approval of the preliminary plat. Motion passed unanimously.

5. Discussion Items

None

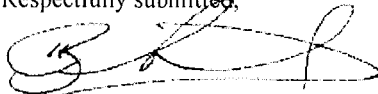
6. Adjournment

Motion by Bergley, second by to Lundeen to adjourn the September 18, 2018 meeting of the Planning Commission. Motion was unanimously approved.

The meeting adjourned at 8:04 p.m.

Dated at Isanti, Minnesota this 25th day of September, 2018.


Respectfully submitted,



Ryan Kernosky
Community Development Director

**MEMORANDUM**

TO: Planning Commission Members

FROM: Ryan Kernosky, Community Development Director 

DATE: October 2, 2018

SUBJECT: **REQUEST FROM ODYSSEY HOMES, INC FOR APPROVAL OF A FINAL PLAT OF LEGACY PINES SUBDIVISION FOR THE LAND LEGALLY DESCRIBED AS OUTLOT B, VILLAGES ON THE RUM THIRD ADDITION 2ND REPLAT PARK ADDITION, ISANTI COUNTY, ISANTI, MINNESOTA**

Background

Odyssey Homes, Inc (applicant) has submitted a completed application and paid applicable fees for a final plat known as "Legacy Pines" for the property legally described as Outlot B of Villages on the Rum Third Addition, 2nd Replat Park Addition. In June 2003, the City entered into a Development Agreement with the previous developer, Ferraro and Iverson, LLC. This original development agreement included the original Planned Unit Development (PUD) for the Villages on the Rum Development. During the 2008 economic recession, the original developer lost the property and until recently, it was owned by Premier Bank.

Premier Bank requested an amended to the PUD, which was approved in 2010 via Resolution No. 2010-111. The 2010 amendment included several items, some of which dedicated Legacy Park to the City along with a lot for a future park entrance/parking area, specific home and garage sizes to be constructed, and a required tree preservation plan. Due to various economic challenges following the economic recession of 2008, Premier Bank never acted upon the approved amendment.

In June of 2018, Premier Bank sold the property to Odyssey Homes, Inc for the future development of the property. The aforementioned development agreements and PUD requirements remain with the property.

Request

The applicant has submitted a final plat for a phased approach development. Phase I includes extending Bellaire Blvd NW to service a proposed 23 additional lots and extending Moline Loop NW to service a proposed 26 lots. Once complete, the development may include 177 lots.

Changes from Preliminary Plat Approval

At the request of the City Planning Commission and the City Council, the applicant has extended Moline Loop NW to connect to Third Ave NW. This will include 5 additional lots that will be brought in during phase one. Bellaire Blvd NW is consistent with the Preliminary Plat.

Staff Comments

General Comments – The proposed phase I of the subdivision is consistent with the overall design of the development, and the 2010 PUD Amendment.

City staff has requested that water is looped from Bellaire Blvd NW to Whiskey Rd NW as part of phase one. The developer has also provided access and utility easements for access to the future legacy park parking lot and temporary cul-de-sac easements.

Staff is pleased that the developer was able to work the extension to Third Ave NW with Moline Loop NW in phase one.

Comprehensive Plan – This proposal is consistent with the City's 2008 Comprehensive Plan Future Land-Use Map, which identifies this parcel as low and medium density residential for future development.

Public Comments – Staff has received written comment from a few citizens, those providing comment stated that they were saddened to see the open space become developed, and hoped that the existing ponds (storm water retention ponds) would be retained. A few members of the public spoke during the preliminary plat public hearing on September 11, 2018, and cited concerns about why the extension of Moline Loop NW did not connect to Third Ave NW, a concern that the developer has addressed.

Certificate of Taxes Paid - As of September 27, 2018, half of the property taxes have been paid. Per City Code and County policy, the applicant will need to pay the remaining balance by the time the final plat is recorded.

Deadline for City Council Action – The City of Isanti received a complete application for this request on August 21, 2018. Per State Statute, the City Council must act upon this by December 20, 2018.

City Engineers Recommendation

City Engineer Brad DeWolf and Jason Cook reviewed the document, their recommendations are outlined in Exhibit A, attached to this document.

Staff Recommendation

I am recommending approval of the preliminary plat with the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent developments will require additional Development Agreements as the property is built out.

Development fees will be charged to the developer at the time of each development agreement and based upon the City Fee Schedule.

2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. The developer shall provide utility and access easements to the public for access to the park facilities and for the extension of sewer and/or water.
4. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.
5. The home sizes shall be consistent with Resolution No. 2010-111, amending the original PUD.
6. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the building on either side of the vacant lot.
Side yard setback:	Ten (10) feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
7. A tree preservation plan shall be prepared by the developer and submitted to the City of Isanti for those portions of the development site that have significant tree stands. Such plans shall show the locations of homes and grading for these lots, so as to protect as many of these trees as possible.
8. Installation of a temporary bituminous cul-de-sac at the end of Phase I roads, built to meet City Standards.
9. Dedication of a temporary cul-de-sac easement to the City of Isanti.
10. Dedication, if required, of utility and access easements are granted to the City of Isanti.
11. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.
12. Address items of importance identified in the Memorandum from City Engineers Brad DeWolf and Jason Cook dated September 27, 2018 to CD Director Ryan Kernosky.

Options & Proposed Motion Language

1. Recommend Approval with No Conditions: Motion to recommend approval of the request from Odyssey Homes, Inc, for Final Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota.
2. Recommend Approval with Conditions: Motion to recommend approval of the request from Odyssey Homes, Inc, for Final Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota. with the following conditions.....
3. Recommend Denial: Motion to recommend denial of the request from Odyssey Homes, Inc, for Final Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota. for the following reasons.....
4. Table: Motion to table the request from Odyssey Homes, Inc, for Final Plat Approval of Legacy Pines, Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota. (a specific reason and information request should be included in the motion to table).

Attachments

- Exhibit A – Engineers Report dated September 27, 2018
- Resolution No. 2018-XXX
- Findings of Fact & Conclusion
- Final for Legacy Pines

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING THE FINAL PLAT FOR LEGACY PINES

WHEREAS, Odyssey Homes, Inc, has applied for Final Plat approval for Legacy Pines, a 49-lot residential subdivision for the property legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota; and,

WHEREAS, the City of Isanti Planning Commission held a public hearing and took testimony from members of the public on the proposed preliminary plat of Legacy Pines during a special Planning Commission meeting held on September 11, 2018; and,

WHEREAS, the City of Isanti City Council has approved the Preliminary Plat of Legacy Pines through Resolution No. 2018-215 with conditions; and,

WHEREAS, conditions of the Preliminary Plat Resolution for Legacy Pines have been addressed by Odyssey Homes, Inc; and,

WHEREAS, the City of Isanti Planning Commission reviewed the Final Plat of Legacy Pines during the Special Meeting of the Planning Commission on October 2, 2018; and,

WHEREAS, the City of Isanti Planning Commission has recommended approval of the Final Plat of Legacy Pines based upon the Findings of Fact and Conclusion as presented; and,

WHEREAS, the City of Isanti City Council reviewed the Final Plat during the regularly scheduled meeting on October 16, 2018.

NOW, THEREFORE, IT IS HEREBY RESOLVED, by the City Council of the City of Isanti, Minnesota, that it adopts the Findings of Fact and Conclusion related to the requested Final Plat of Legacy Pines and **BE IT FURTHER RESOLVED** that the requested Final Plat of Legacy Pines be approved with the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent developments will require additional Development Agreements as the property is built out. Development fees will be charged to the developer at the time of each development agreement and based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. The developer shall provide utility and access easements to the public for access to the park facilities and for the extension of sewer and/or water.
4. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.

5. The home sizes shall be consistent with Resolution No. 2010-111, amending the original PUD.
6. The setback requirements are as follows:
 - Front yard setback: Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the building on either side of the vacant lot.
 - Side yard setback: Ten (10) feet
 - Street side yard setback: Twenty (20) feet
 - Rear yard setback: Thirty (30) feet
7. A tree preservation plan shall be prepared by the developer and submitted to the City of Isanti for those portions of the development site that have significant tree stands. Such plans shall show the locations of homes and grading for these lots, so as to protect as many of these trees as possible.
8. Installation of a temporary bituminous cul-de-sac at the end of Phase I roads, built to meet City Standards.
9. Dedication of a temporary cul-de-sac easement to the City of Isanti.
10. Dedication, if required, of utility and access easements are granted to the City of Isanti.
11. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.
12. Address items of importance identified in the Memorandum from City Engineers Brad DeWolf and Jason Cook dated September 27, 2018 to CD Director Ryan Kernosky.
13. The applicant shall immediately upon approval, furnish the City Administrator or his/her designee with three full size mylar transparencies of the Final Plat, two for the County and one for the City. Three additional 11"x17" mylar transparencies shall be given to the Community Development Director, City Clerk, and Isanti County.

Adopted by the City of Isanti City Council on this 16th day of October, 2018.

ATTEST:

Mayor George A. Wimmer

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from Odyssey Homes, Inc, for Final Plat Approval of Legacy Pines, legally described as Outlot B of Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

1. The applicant, Odyssey Homes, Inc ('the applicant'), had made an application for Preliminary Plat Approval of Legacy Pines, Isanti County, Minnesota. Said Preliminary Plat was approved through City of Isanti City Council Resolution No. 2018-251.
2. The applicant has made an application for a Final Plat Approval of Legacy Pines, Isanti County, Minnesota.
3. The property is legally described as Outlot B of Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Isanti, Minnesota.
4. The Applicant is requesting Final Plat Approval in an effort to create 49 lots in the first phase of the development.
5. The property is zoned both "R-1" Single-Family Residential and "R-3A" Low Density Multi-Family Residential District.
6. The Applicant submitted an application for Final Plat Approval on September 25, 2018. It was deemed complete on September 25, 2018.
7. A public hearing of the Preliminary Plat took place before the Planning Commission on Tuesday, September 11, 2018 at 7:00 p.m.at City Hall within the Council Chambers.
8. The applicant has addressed or is in the process of addressing the conditions imposed by the City during the Preliminary Plat review.

Conclusions

1. The platting of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the "R-1" Single-Family Residential and "R-3A" Low Density Multi-Family Residential District.
2. The platting is consistent with the 2003 Development Agreement and Planned Unit Development (PUD) for this property, and is consistent with the 2010 PUD Amendment
3. The platting of the property would appear to meet the Design Standards as required by Ordinance No. 536.

Decision

The Planning Commission has considered this item during their Special Meeting scheduled on October 2, 2018. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.



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MEMORANDUM

Date: September 27, 2018
To: Ryan Kernosky, Community Development Director
From: Bradley C. DeWolf, P.E.
City Engineer
Jason W. Cook, P.E.
Assistant City Engineer
Subject: Legacy Pines – Final Plat – Submittal Review
City of Isanti, MN
Project No.: R13.113062

We have reviewed the Final Plat and supporting documents entitled “Legacy Pines” received on September 25, 2018. The supporting documents have a signature date of 8/10/2018 and a revision date of 9/19/2018.

The preliminary plat includes the construction of 177 single family lots, extension of city streets and utilities and site and storm water pond grading. The Final Plat includes 49 parcels and 4 outlots. Temporary easements were also submitted for a temporary cul-de-sac and sewer and watermain construction in the outlots.

Also submitted were a stormwater management plan, a stormwater pollution prevention plan, the site development and phase 1 construction plans, as well as the construction specifications.

We have reviewed the submitted documents and have the following comments:

Final Plat, Preliminary Plat, and Easements:

1. No Comment

Stormwater Management Plan:

1. No Comment

Storm Water Pollution Prevention Plan:

1. No Comment

Wetland Delineation Report:

1. Pending LGU site review and approval prior to performing grading or utility work.

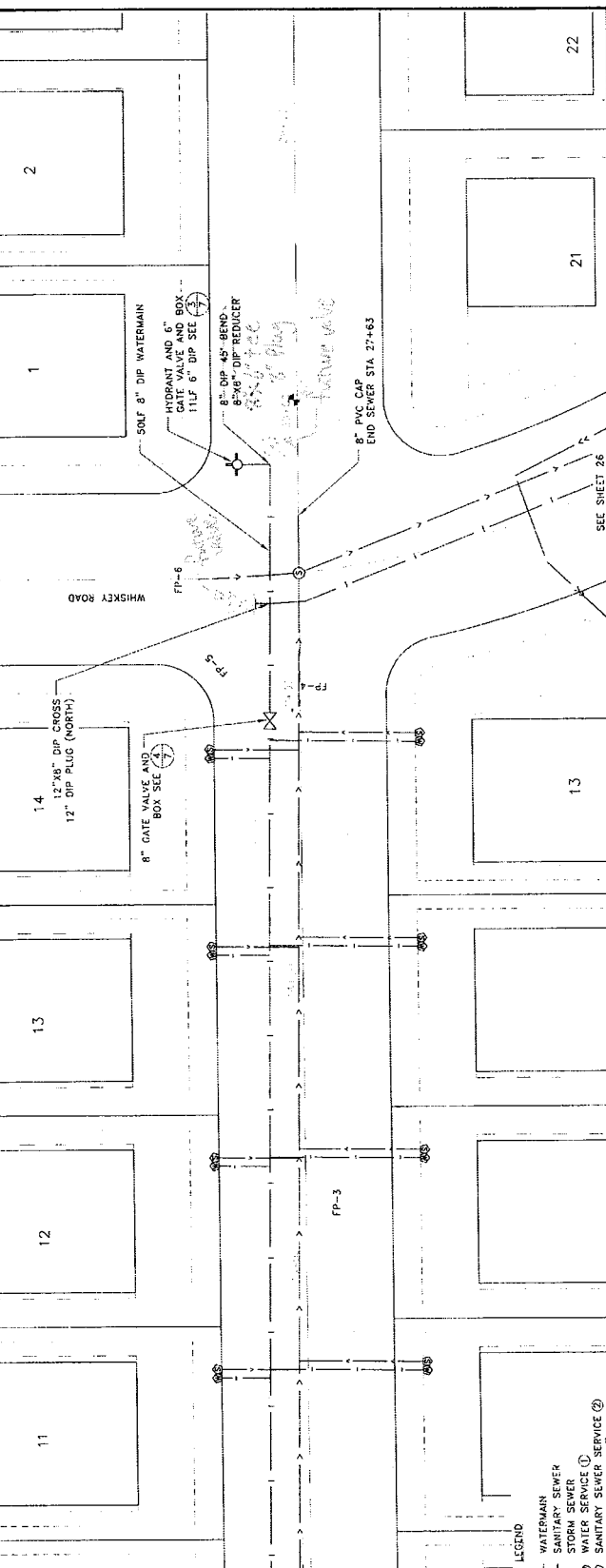
Site Development and Phase 1 Construction Plans:

1. Revise valves and fittings as shown in the attached marked up plan sheets.

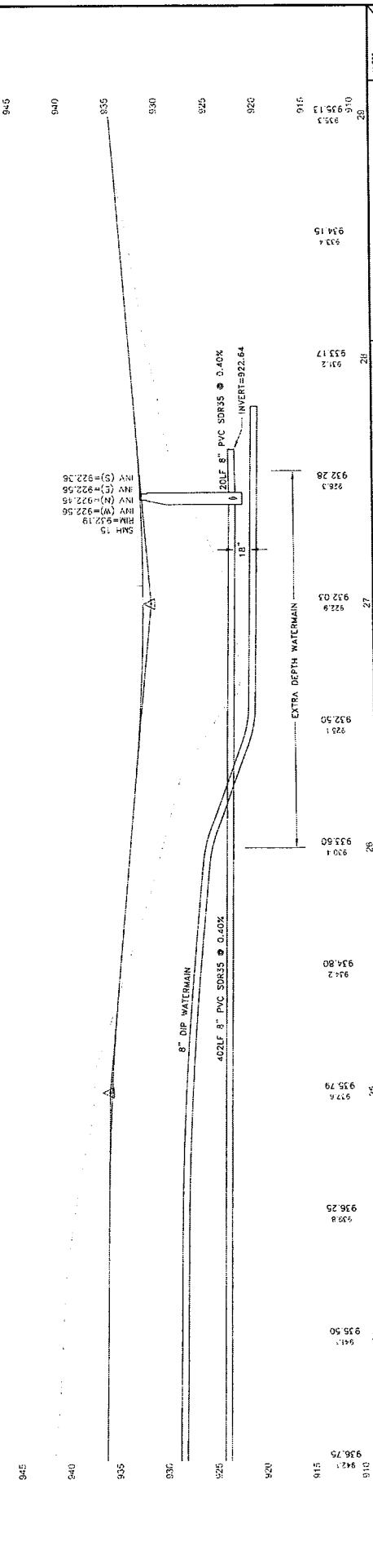
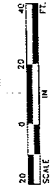
We recommend approval of the submitted documents once the above items are addressed.

Please contact me if you have any questions.

REFERENCE NOTES:
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 ② CONSTRUCT SEWER SERVICE PER
 ③ CONSTRUCT SANITARY MANHOLE PER



LEGEND
 WATERMAIN
 SANITARY SEWER
 STORM SEWER
 WATER SERVICE ①
 SANITARY SERVICE ②
 SANITARY MANHOLE ③



DATE	REVISION	BY	CHKD	APP'D
7/27/18	ISSUED FOR PERMITS			
7/27/18	REVISED FOR PERMITS			

DATE	8/10/18	LC No.	23451
PROJECT	LEGACY PINES		
CLIENT	SANITARY SEWER AND WATERMAIN 25		
ADDRESS	BELLAIRE BOULEVARD NW CITY OF ISANTI, MINNESOTA		
SHEET NO.	42	TOTAL SHEETS	42

PROJECT	LEGACY PINES
CLIENT	SANITARY SEWER AND WATERMAIN 25
ADDRESS	BELLAIRE BOULEVARD NW CITY OF ISANTI, MINNESOTA
SHEET NO.	42
TOTAL SHEETS	42

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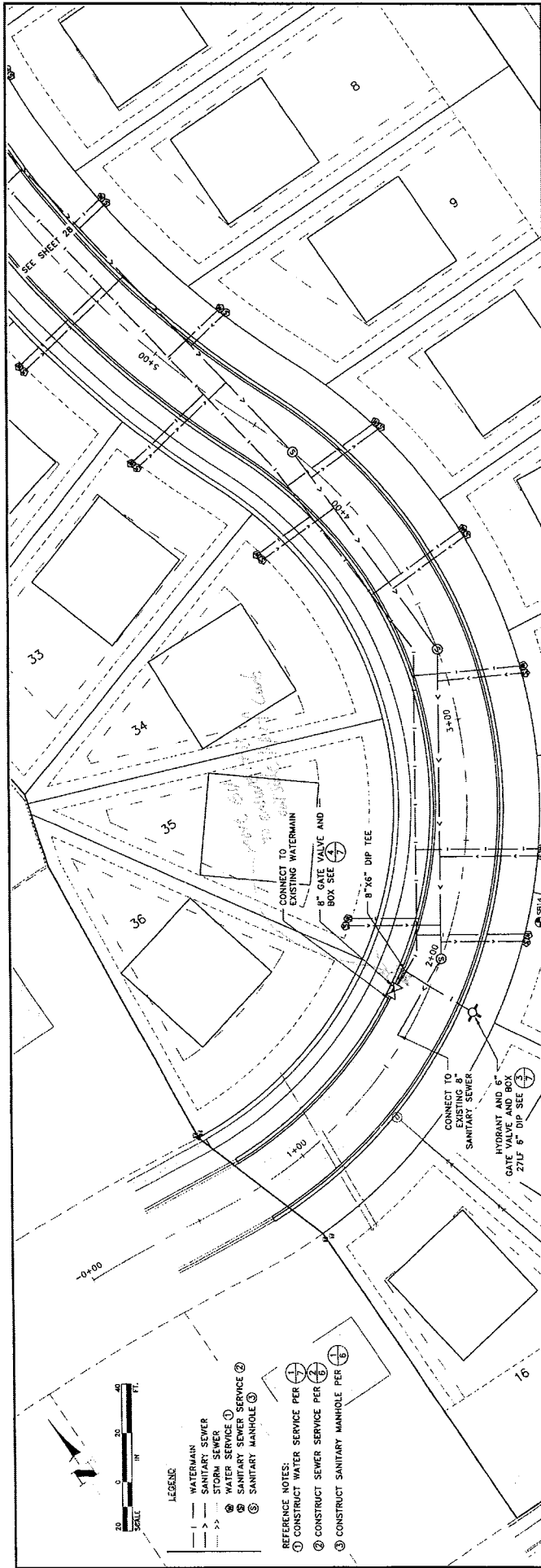
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PROJECT	LEGACY PINES		
CLIENT	SANITARY SEWER AND WATERMAIN 25		
ADDRESS	BELLAIRE BOULEVARD NW CITY OF ISANTI, MINNESOTA		
SHEET NO.	42	TOTAL SHEETS	42

Hakanson Anderson
 Civil Engineers and Land Surveyors
 3607
 7600-207-5860 FAX 763-427-2520
 www.hakanson-anderson.com



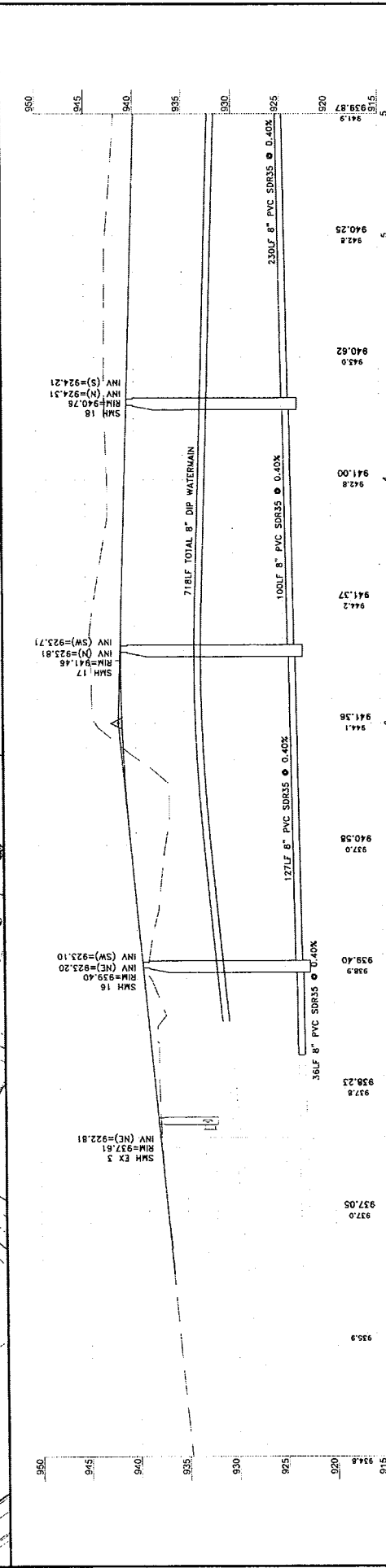
DATE: 8/10/18
 PROJECT: LEGACY PINES
 CLIENT: SANITARY SEWER AND WATERMAIN 25
 ADDRESS: BELLAIRE BOULEVARD NW, CITY OF ISANTI, MINNESOTA
 SHEET NO.: 42
 TOTAL SHEETS: 42

DATE: 8/10/18
 PROJECT: LEGACY PINES
 CLIENT: SANITARY SEWER AND WATERMAIN 25
 ADDRESS: BELLAIRE BOULEVARD NW, CITY OF ISANTI, MINNESOTA
 SHEET NO.: 42
 TOTAL SHEETS: 42



- LEGEND**
- WATERMAIN
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 - SANITARY MANHOLE ③

- REFERENCE NOTES:**
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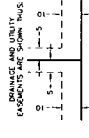
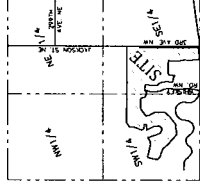


SHEET 27 OF 42 SHEETS SANITARY SEWER AND WATERMAIN MOJLINE LOOP NW CITY OF ISANTI, MINNESOTA	
LEGACY PINES	
Hokanson Anderson Civil Engineers and Land Surveyors 3601 Huron - 5860 FAX 763-427-0520 www.hokanson-anderson.com	
DATE: 8/10/18 REVISION:	DRAWN BY: CHAIR J. JOCHUM, P.E., Lic. No. 33461 CHECKED BY: [Blank] IN CHARGE: [Blank]

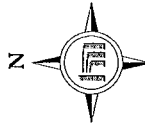
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

LEGACY PINES
 INSET A

VICINITY MAP
 SECTION 19, T. 35, R. 23
 ISANTI COUNTY, MN

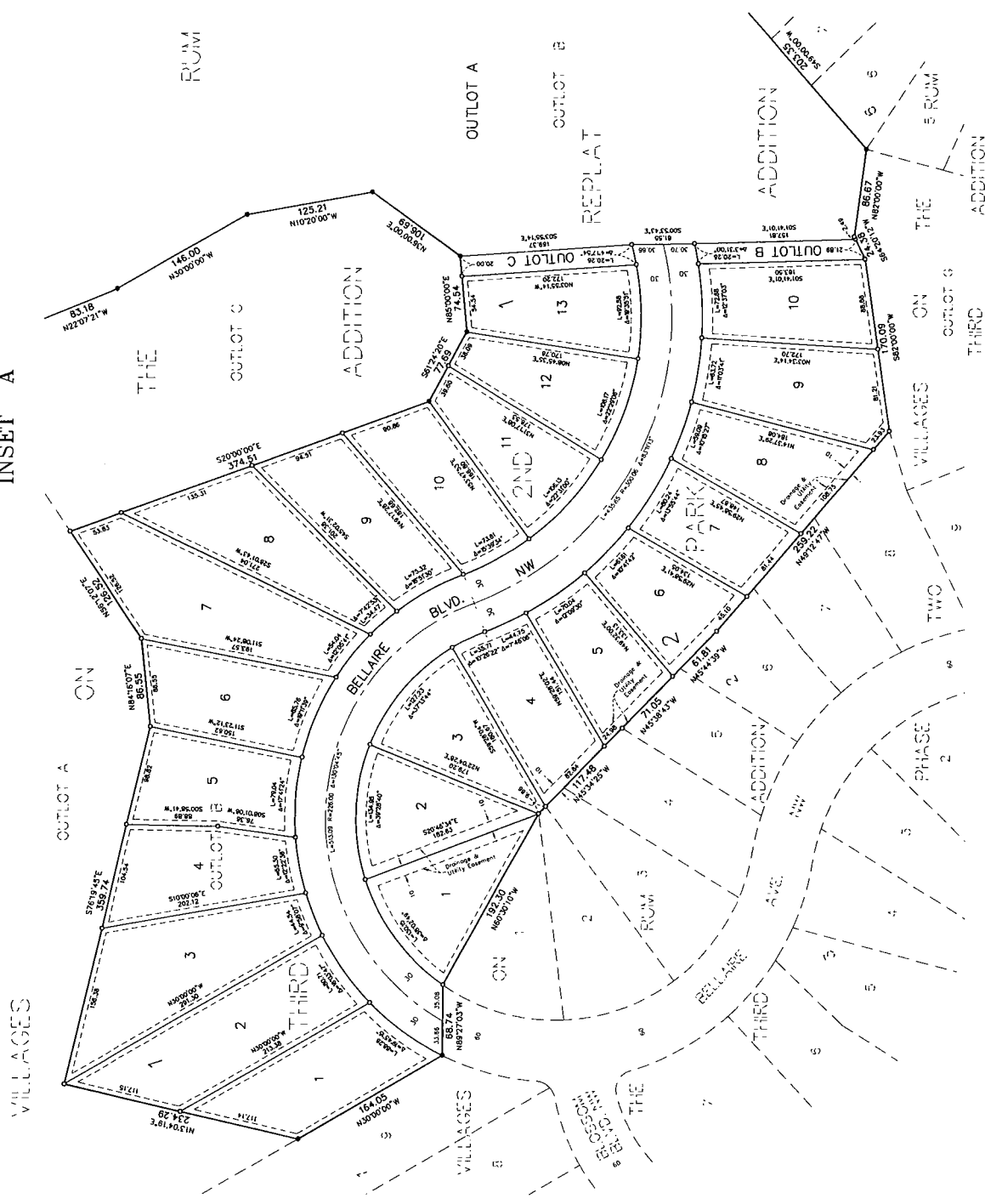


BEARING AND DISTANCE
 (AS SHOWN ON THIS PLAN)
 (NOT TO SCALE)

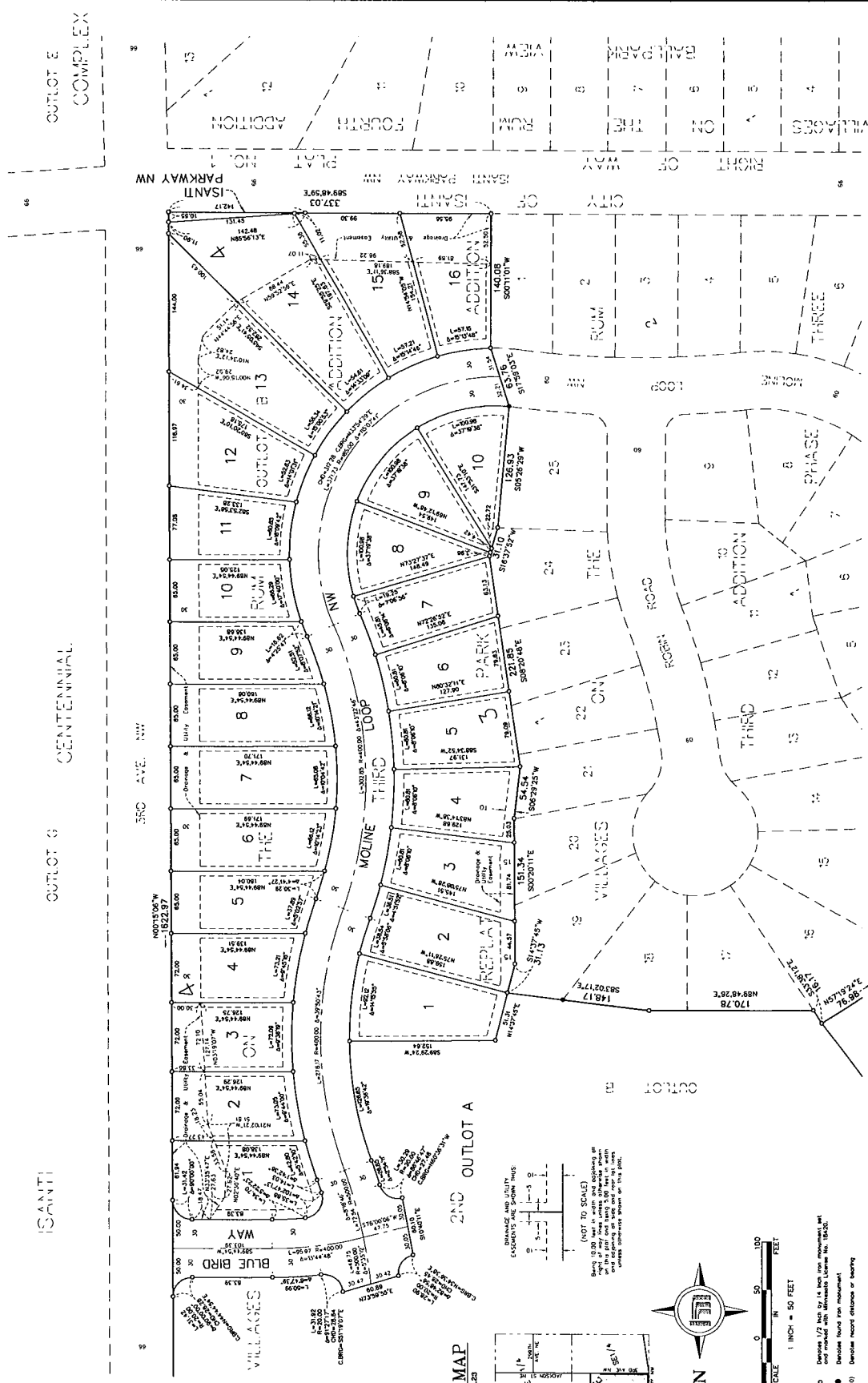


- Denotes 1/2 inch by 1/4 inch hole measurement and should be measured with accuracy to within 1/32 inch.
- Denotes round iron measurement.
- (100.00) Denotes record distance or bearing.

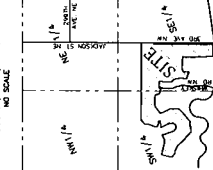
For the purposes of this plan, the north line of the road shown is assumed to be the true north line. The addition is assumed to be true north-south.



LEGACY PINES INSET B



VICINITY MAP



SCALE: 1 INCH = 50 FEET

 0 50 100 FEET

 0 50 100 FEET

- Boundary of adjacent sections.
- Boundary found from monument.
- (100.00) Distance record distance or bearing.

On the plat, the bearings and distances are given in feet and angles are given in degrees and minutes. The bearings are given in true north. The distances are given in feet. The bearings and distances are assumed to bear north 0°15'30" west.

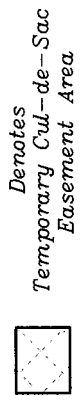
PROPOSED TEMPORARY CUL-DE-SAC EASEMENT DESCRIPTION:

A temporary easement for street, utility, and drainage purposes over, under, and across that part of Outlot A, LEGACY PINES, Isanti County, Minnesota, described as follows:

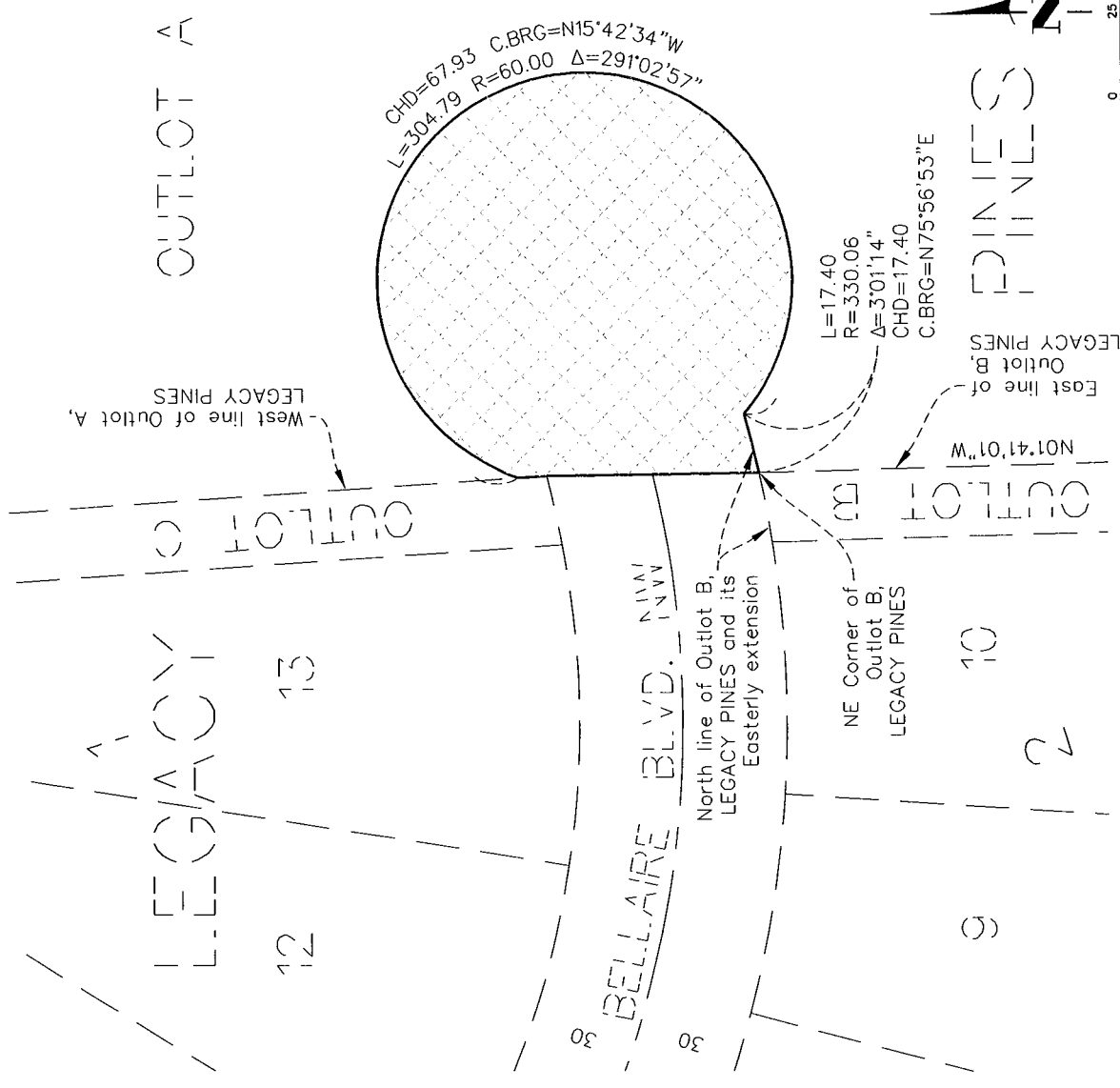
Beginning at the Northeast corner of Outlot B, said LEGACY PINES, thence Easterly a distance of 17.40 feet along the Easterly extension of the North line of said Outlot B, being a non-tangential curve concave to the Northwest, having a radius of 330.06 feet, a central angle of 03 degrees 01 minutes 14 seconds, and a chord which bears North 75 degrees 56 minutes 53 seconds East, assuming the East line of said Outlot B bears North 01 degrees 41 minutes 01 seconds West; thence Easterly, Northerly, and Westerly a distance of 304.79 feet along a non-tangential curve concave to the West, having a radius of 60.00 feet, a central angle of 291 degrees 02 minutes 57 seconds, and a chord which bears North 15 degrees 42 minutes 34 seconds West, to the intersection with the West line of said Outlot A; thence Southerly, along said West line of Outlot A, to the point of beginning.

NOTES:

- The professional surveyor has made no investigation/independent search for encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- As of the date of this exhibit, the final plat of LEGACY PINES has not been recorded. The final plat MUST be recorded prior to the recording of the proposed temporary easement.
- Said easement is intended to be terminated upon the completion of the extension of Bellaire Blvd. NW.



Total Area of Proposed Temporary Cul-de-Sac Easement = 11,402 Sq.Ft. or 0.262 Acres



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Professional Licensed Land Surveyor under the laws of the State of Minnesota.

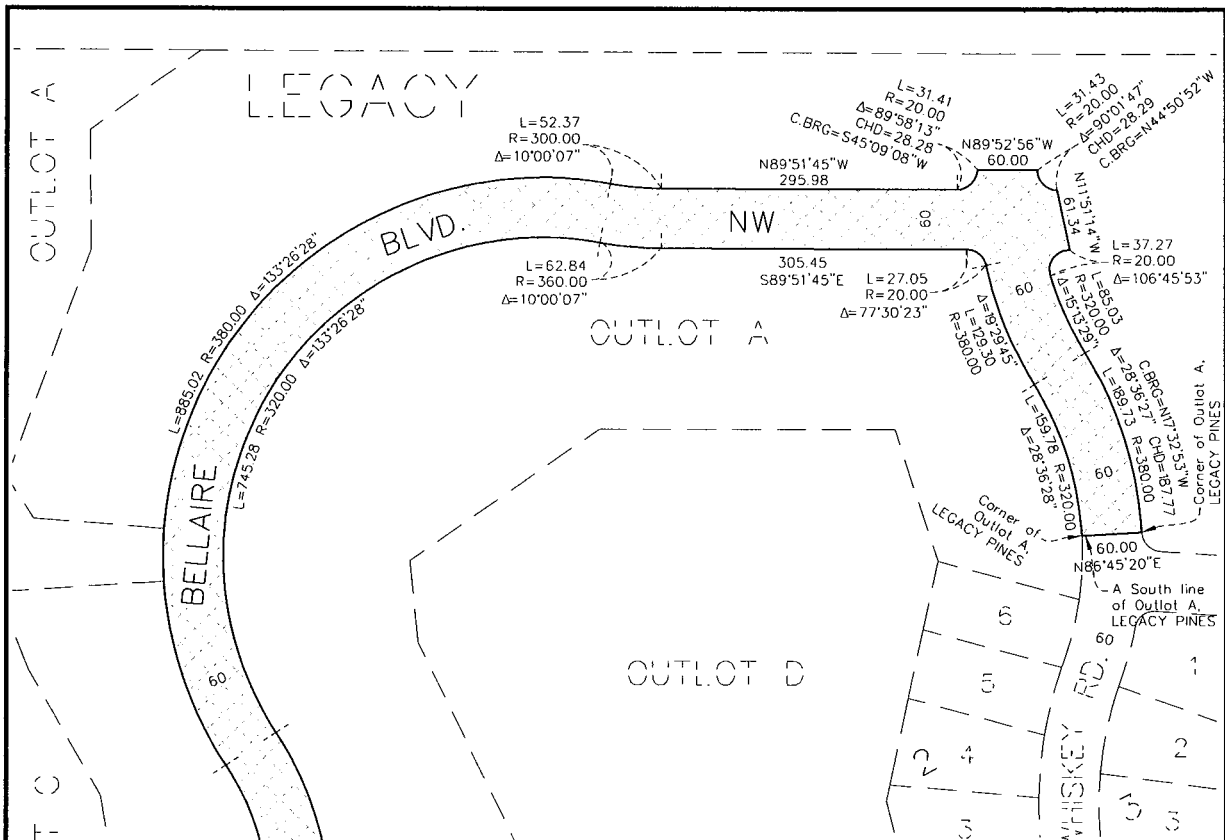
Charles R. Christopherson
 Charles R. Christopherson, MN License No. 18420
 Date: 09/24/18

Date	Revision	DESIGNED BY	SMM
		DRAWN BY	SMM
		CHECKED BY	CRG

Hakanson Anderson
 Civil Engineers and Land Surveyors
 3801 Thurston Ave. Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520

Easement Exhibit for
ODYSSEY HOMES, INC.

DATE 09/24/18 FILE NO. 3373.12



PROPOSED TEMPORARY EASEMENT DESCRIPTION:

A temporary easement for street, utility, and drainage purposes over, under, and across that part of Outlot A, LEGACY PINES, Isanti County, Minnesota, described as follows:

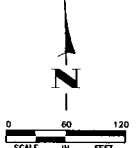
Beginning at the Northeast corner of Outlot B, said LEGACY PINES, thence Easterly, Northeasterly, and Northerly a distance of 638.05 feet along the Easterly extension of the North line of said Outlot B, being a non-tangential curve concave to the Northwest, having a radius of 330.06 feet, a central angle of 110 degrees 45 minutes 36 seconds, and a chord which bears North 22 degrees 04 minutes 41 seconds East, assuming the East line of said Outlot B bears North 01 degrees 41 minutes 01 seconds West; thence Northerly, Northeasterly, and Easterly a distance of 745.28 feet along a reverse curve concave to the Southeast, having a radius of 320.00 feet and a central angle of 133 degrees 26 minutes 28 seconds; thence Easterly a distance of 62.84 feet along a reverse curve concave to the North, having a radius of 360.00 feet and a central angle of 10 degrees 00 minutes 07 seconds; thence South 89 degrees 51 minutes 45 seconds East, tangent to the last described curve, a distance of 305.45 feet; thence Easterly and Southeasterly a distance of 27.05 feet along a tangential curve concave to the Southwest, having a radius of 20.00 feet and a central angle of 77 degrees 30 minutes 23 seconds; thence South 89 degrees 51 minutes 45 seconds East, tangent to the last described curve, a distance of 129.30 feet along a reverse curve concave to the Northeast, having a radius of 380.00 feet and a central angle of 19 degrees 29 minutes 45 seconds; thence Southeasterly and Southerly a distance of 159.78 feet along a reverse curve concave to the West, having a radius of 320.00 feet and a central angle of 28 degrees 36 minutes 28 seconds to a corner of said Outlot A; thence North 86 degrees 45 minutes 20 seconds East, not tangent to the last described curve and along a South line of said Outlot A, a distance of 60.00 feet to a corner of said Outlot A; thence Northerly and Northwesterly a distance of 189.73 feet along a non-tangential curve concave to the West, having a radius of 380.00 feet, a central angle of 28 degrees 36 minutes 27 seconds, and a chord which bears North 17 degrees 32 minutes 53 seconds West; thence Northwesterly a distance of 85.03 feet along a reverse curve concave to the East, having a radius of 320.00 feet and a central angle of 15 degrees 13 minutes 29 seconds; thence Northerly and Northeasterly a distance of 37.27 feet along a compound curve concave to the Southeast, having a radius of 20.00 feet and a central angle of 106 degrees 45 minutes 53 seconds; thence North 11 degrees 51 minutes 14 seconds West, not tangent to the last described curve, a distance of 61.34 feet; thence Westerly and Northwesterly a distance of 31.43 feet along a non-tangential curve concave to the Northeast, having a radius of 20.00 feet, a central angle of 89 degrees 01 minutes 47 seconds, and a chord which bears North 44 degrees 50 minutes 52 seconds West; thence North 89 degrees 52 minutes 56 seconds West, not tangent to the last described curve, a distance of 60.00 feet; thence Southwesterly and Westerly a distance of 31.41 feet along a non-tangential curve concave to the Northwest, having a radius of 20.00 feet, a central angle of 89 degrees 58 minutes 13 seconds, and a chord which bears South 45 degrees 09 minutes 08 seconds West; thence North 89 degrees 51 minutes 45 seconds West, tangent to the last described curve, a distance of 295.98 feet; thence Westerly a distance of 52.37 feet along a tangential curve concave to the North, having a radius of 300.00 feet and a central angle of 10 degrees 00 minutes 07 seconds; thence Westerly, Southwesterly, and Southerly a distance of 885.02 feet along a reverse curve concave to the Southeast, having a radius of 380.00 feet and a central angle of 133 degrees 26 minutes 28 seconds; thence Southerly, Southwesterly, and Westerly a distance of 509.63 feet along a reverse curve concave to the Northwest, having a radius of 270.06 feet and a central angle of 108 degrees 07 minutes 22 seconds to the Southeast corner of Outlot C, said LEGACY PINES; thence South 00 degrees 53 minutes 43 seconds East, not tangent to the last described curve and along the West line of said Outlot A, a distance of 61.55 feet to the point of beginning.

NOTES:

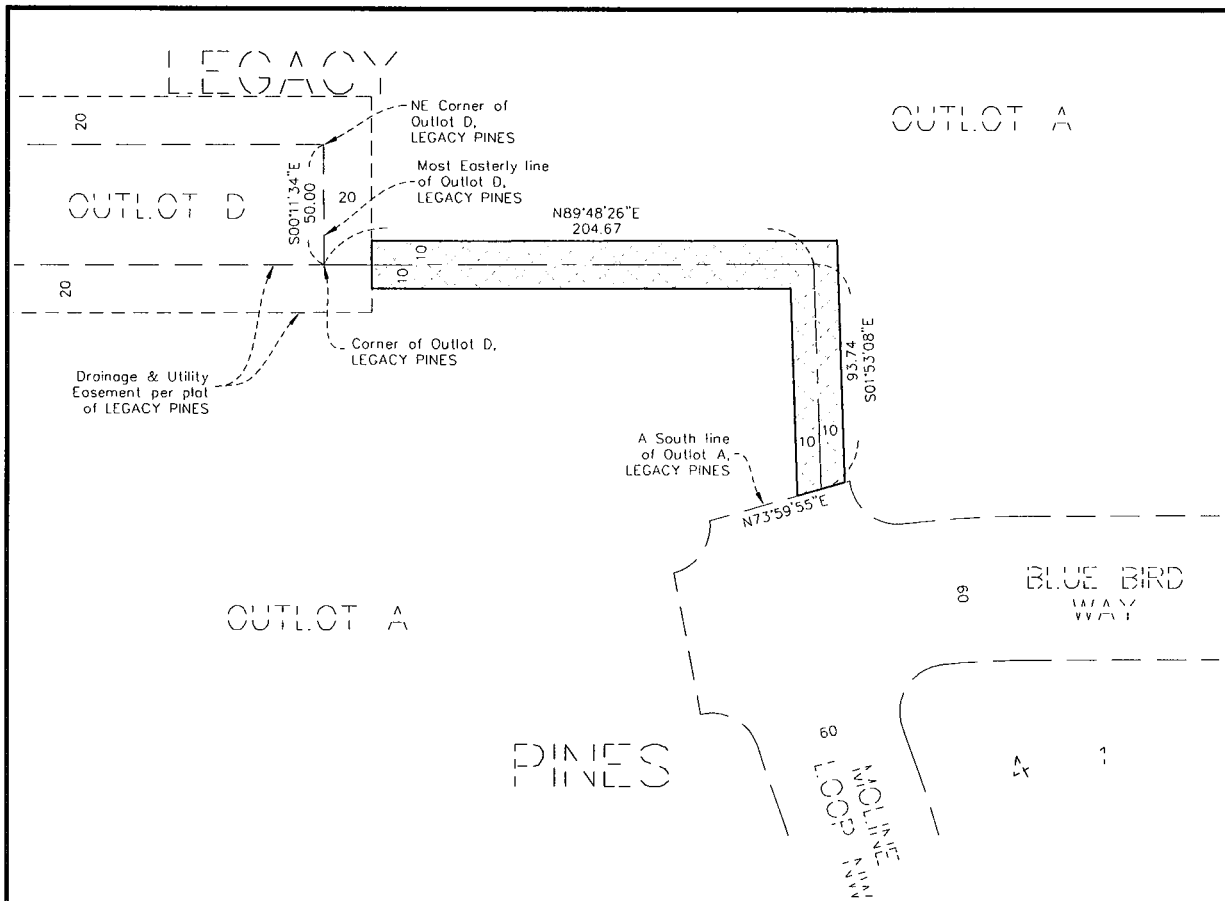
- The professional surveyor has made no investigation/independent search for encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- As of the date of this exhibit, the final plat of LEGACY PINES has not been recorded. The final plat MUST be recorded prior to the recording of the proposed temporary easement.
- Said temporary easement is to be terminated upon recordation of plat or plats dedicating in its entirety Belleaire Blvd. and Whiskey Rd.

Denotes Temporary Street, Utility, & Drainage Easement Area

Total Area of Proposed Temporary Street, Utility, & Drainage Easement = 130,710 Sq.Ft. or 3.001 Acres



Date	Revision	DESIGNED BY SKM	I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Professional Licensed Land Surveyor under the laws of the State of Minnesota. Charles R. Christopherson, MN License No. 18420	 Civil Engineers and Land Surveyors 3601 Hudson Ave., North Branch, Minnesota 55853 763-427-5860 FAX 763-427-0520	Easement Exhibit for ODYSSEY HOMES, INC.
		DRAWN BY SKM			
		CHECKED BY CRC			
			09/24/18	Date	DATE 09/24/18
					FILE NO. 3373.12



PROPOSED TEMPORARY EASEMENT DESCRIPTION:

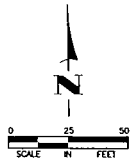
A 20.00 foot wide temporary easement for drainage and utility purposes over, under, and across that part of Outlot A, LEGACY PINES, Isanti County, Minnesota, the centerline of which is described as follows:

Commencing at the Northeast corner of Outlot D, said LEGACY PINES; thence South 00 degrees 11 minutes 34 seconds East, assumed bearing along the most Easterly line of said Outlot D, a distance of 50.00 feet to a corner of said Outlot D and the point of beginning of the centerline to be described; thence North 89 degrees 48 minutes 26 seconds East, a distance of 204.67 feet; thence South 01 degrees 53 minutes 08 seconds East, a distance of 93.74 feet to the intersection with a South line of said Outlot A and said centerline there terminating.

The sidelines of said 20.00 foot wide temporary easement are to be prolonged or shortened to terminate on a line drawn parallel with and distant 20.00 feet East of said most Easterly line of Outlot D and a line which bears North 73 degrees 59 minutes 55 seconds East and passes through said point of termination.

NOTES:

1. The professional surveyor has made no investigation/independent search for encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
2. As of the date of this exhibit, the final plat of LEGACY PINES has not been recorded. The final plat MUST be recorded prior to the recording of the proposed temporary easement.
3. Said temporary easement is to be terminated upon the extension of Moline Loop NW and the dedication of permanent drainage and utility easements.



Denotes Temporary Drainage & Utility Easement Area

Total Area of Proposed Temporary Drainage & Utility Easement = 5,568 Sq.Ft. or 0.128 Acres

Date	Revision	DESIGNED BY SMH	I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Professional Licensed Land Surveyor under the laws of the State of Minnesota. <i>Charles R. Christopherson</i> Charles R. Christopherson, MN License No. 18420	 Hakanson Anderson Civil Engineers and Land Surveyors 3601 Thurston Ave., Anoka, Minnesota 55301 763-427-5800 Fax 763-427-0520	Easement Exhibit for ODYSSEY HOMES, INC.		
		DRAWN BY SMH				Date 08/24/18	DATE 09/24/18
		CHECKED BY CRC					FILE NO. 3373.12



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, October 16, 2018
IMMEDIATELY FOLLOWING THE CITY COUNCIL MEETING AT 7:00 PM
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
2. Approval of the Agenda
3. Meeting Minutes
 - A. Approval of Minutes from the October 2, 2018 Special Planning Commission
4. Consideration of: Request from First Fruits Land Development, LLC for approval of the Final Plat of Sun Prairie Fourth Addition for the land legally described as Outlot G, Sun Prairie First Addition, Isanti County, Minnesota
5. Public Hearings
(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)
 - A. None.
6. Discussion Items
 - A. None.
7. Adjournment

CITY OF ISANTI
SPECIAL PLANNING COMMISSION MINUTES
OCTOBER 2, 2018

3A

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:15 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Ross Lorinser, Paul Bergley, Dan Collison Joey Lemay, Arissa Simon.

Members Absent: Steve Lundeen.

Staff Present: Ryan Kernosky, Community Development Director; Clark Joslin, City Attorney

D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Lorinser, seconded by Collison to adopted the agenda, approved unanimously.

3. Approval of the Minutes from the September 18, 2018 Planning Commission

Motion by Burgley, seconded by Lorinser to approve the minutes from the September 18, 2018 Planning Commission meeting, approved unanimously.

4. Consideration of: Request from Odyssey Homes, Inc for approval of the Final Plat of Legacy Pines Subdivision for the land legally described as Outlot B, Villages on the Rum Third Addition 2nd Replat Park Addition, Isanti County, Minnesota

Director Kernosky stated that this was the final plat approval of the Legacy Pines subdivision. He stated that the Planning Commission had expressed concerns regarding the connection of Moline Loop NW to Third Ave NW and that the applicant had made a change in the final plat and has added five additional lots to the final plat from the preliminary plat. Kernosky also stated that there was an amended resolution passed out to Commissioners regarding concern about early grading. Kernosky stated that the City is requiring a \$36,600 stabilization escrow before any grading is done. Kernosky stated that the final plat meets the conditions stipulated in the preliminary plat resolution.

Motioned by Lorinser, seconded by Collison to approve with staff conditions. Motion passed unanimously.

5. Public Hearings

None

6. Discussion Items

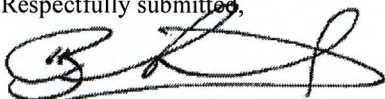
None

7. Adjournment

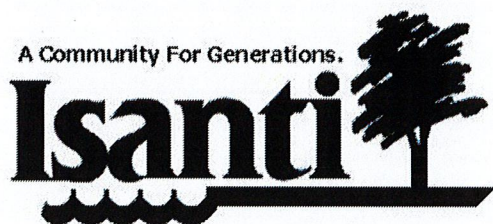
Motion by Bergley, second by to Lorinser to adjourn the October 2, 2018 meeting of the Planning Commission. Motion was unanimously approved. The meeting adjourned at 7:18 p.m.

Dated at Isanti, Minnesota this 5th day of October, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director



MEMORANDUM

TO: City Planning Commission

FROM: Ryan Kernosky, Community Development Director

DATE: October 16, 2018

SUBJECT: **REQUEST FROM FIRST FRUITS LAND DEVELOPMENT, LLC FOR FINAL PLAT APPROVAL OF "SUN PRAIRIE FOURTH ADDITION" FOR THE PROPERTY LEGALLY DESCRIBED AS OUTLOT G, SUN PRAIRIE FIRST ADDITION, ISANTI COUNTY, ISANTI, MINNESOTA**

Background

First Fruits Land Development, LLC (applicant) has submitted a completed application and paid applicable fees for a Final Plat known as "Sun Prairie Fourth Addition" for the property legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota. This development is part of the Sun Prairie Subdivision development done in 2005. This development has existing infrastructure and is covered by the original development agreement for the Sun Prairie First Addition. As such, the signal light fees have been paid at the time of the platting.

The following fees are due at the time of the final platting:

Park Dedication Fee: 9 lots at \$1,500 = \$13,500
 Trunk Sewer Charge: 9 lots at \$1,000 = \$9,000

Request

The applicant is requesting the subdivision of one Outlot into 9 parcels abutting 9th Ave SE. The applicant had previous preliminary plat approval to develop this property, however, did not act upon it within the required timeline. The parcels range in size from 11,056 sq ft to 12,319 sq ft, homes in the R-1 Zoning District must meet the following requirements:

Lot Requirements:

Size: Minimum 11,000 sq ft
 Width: Corner – 95 ft, other – 80 feet
 Depth: 137 ft

Home Requirements:

Home Size: Minimum 1,200 sq ft

Garage Size: Minimum 720 sq ft

Development and Operations Advisory Committee Recommendation

DOAC met to discuss this item on August 23, 2018, and has recommended approval.

Staff Comments

Comprehensive Plan – This proposed development is consistent with the City 2008 Comprehensive Plan and development plan of this area.

Public Comments – At the writing of this staff report, no public comment has been received.

Certificate of Taxes Paid – Per Isanti County, taxes on this property have been paid in full.

Deadline for City Council Action – A complete application was submitted on August 16, 2018. As such, the City Council has until December 17, 2018 to take action on this item.

City Engineer Recommendation

City Engineer Brad DeWolf and Jason Cook reviewed the application and have recommended approval.

Staff Recommendation

Staff recommends approval as presented.

RESOLUTION NO. 2018-XXX

**A RESOLUTION APPROVING THE FINAL PLAT FOR SUN PRAIRIE FOURTH
ADDITION**

WHEREAS, First Fruits Land Development, LLC has made application for Final Plat Approval for Sun Prairie Fourth Addition, legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota; and,

WHEREAS, the City of Isanti City Council has reviewed the Preliminary Plat during the regularly scheduled meeting on October 2, 2018; and,

WHEREAS, the City Council reviewed the Final Plat request at the November 6, 2018 meeting.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Isanti, Minnesota that it hereby adopts the Findings of Fact and Conclusion related to the requested Final Plat and **BE IT FURTHER RESOLVED** that the requested Final Plat Approval for Sun Prairie Fourth Addition from First Fruits Land Development, LLC be approved.

Adopted by the Isanti City Council this 6th day of November, 2018.

Mayor George A. Wimmer

ATTEST:

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from First Fruits Land Development LLC for Final Plat approval of the Plat of Sun Prairie Fourth Addition, legally described as Outlot G, Sun Prairie First Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

1. The applicant, First Fruits Land Development LLC ('the applicant'), has made application for Final Plat Approval of Sun Prairie Fourth Addition, Isanti County, Minnesota.
2. The property is legally described as Outlot G, Sun Prairie First Addition, Isanti County, Minnesota.
3. The Applicant is requesting Final Plat Approval in an effort to create 9 single-family lots.
4. The property is zoned "R-1" Single-Family Residential District.
5. The City Council has reviewed and approved the Preliminary Plat of Sun Prairie Fourth Addition on October 2, 2018.
6. The Applicant submitted an application for Final Plat Approval on October 1, 2018.
7. Notices were sent to all property owners located within the development and within 350 feet of the subject property for the Preliminary Plat approval.
8. The Planning Commission has reviewed the Final Plat during the regular Planning Commission meeting on October 16, 2018 and has recommended approval as presented.

Conclusions

1. The platting of the property would appear to meet the lot requirements and setback requirements as provided within the zoning ordinance for properties located within the "R-1" Single-Family Residential Districts.
2. The platting of the property would appear to meet the Design Standards as required by Ordinance No. 536.

Decision

The Planning Commission considered this item at the **October 16, 2018** meeting. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.

Planning Commission Recommendation:



SUN PRAIRIE FOURTH ADDITION

under all acts of the City of Isanti. The First Fruit Land Development, LLC, a Minnesota limited liability corporation, owner and proprietor of the following described property located in the County of Isanti, State of Minnesota, to wit:

County Recorder: Isanti County, Minnesota.

Subject to easements, restrictions, or reservations of record, if any.

has caused the same to be surveyed and platted as SUN PRAIRIE FOURTH ADDITION and do hereby donate and dedicate to the public for public use forever the easements as shown on this plat for public utility and/or drainage purposes only.

in witness whereof said First Fruit Land Development, LLC has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signature _____

Printed Name and Title _____

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument by _____ of First Fruit Land Development, LLC, a Minnesota limited liability corporation, on behalf of the corporation, was acknowledged before me this _____ day of _____, 20____.

SIGNATURE _____ (DO NOT USE STAMP)
PRINTED NAME _____
Notary Public, _____ County, Minnesota.
My commission expires _____

I hereby certify that I have surveyed and platted or directly supervised the surveying and platting of the land described correctly designated on the plat, all monuments depicted on the plat have been set or will be correctly set within one year; all water boundaries and wet lands as of this date are shown and labeled; and all public ways are shown and labeled; and that the plat is correct and that the public highways to be designated thereon are to be designated thereon from _____.

Notary Public, _____ County, Minnesota.
My commission expires _____

Kyle J. Rindge, Land Surveyor
Minnesota License Number 43827

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ by Kyle J. Rindge, Land Surveyor, Minnesota License Number 43827.

STAMP _____ (DO NOT USE)
SIGNATURE _____
PRINTED NAME _____
Notary Public, _____ County, Minnesota.
My commission expires _____

I hereby certify that this plat has been checked and recommended for approval as to compliance with Chapter 655, Minnesota Statutes this _____ day of _____, 20____.

Isanti County Surveyor
Matti, Leanne No. _____

Approved by the City Council of Isanti, Minnesota, this _____ day of _____, 20____ and is in compliance with the provisions of Chapter 655.03, Subd. 2, Minnesota Statutes.

Mayer _____ City Administrator
Approved as to form and execution this _____ day of _____ recommended for approval this _____ day of _____, 20____.

Isanti City Attorney _____ Isanti City Engineer _____

Approved by the Planning Commission of the City of Isanti, Minnesota on this _____ day of _____, 20____.

Chairperson _____ Attorney _____ Secretary _____

I hereby certify that the taxes for the year _____ on the property described herein have been paid and that there are no delinquent taxes and transfer entered on this _____ day of _____, 20____.

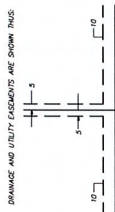
Isanti County Auditor-Treasurer _____ Deputy _____

I hereby certify that this instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20____ at _____ o'clock _____ M. and was duly recorded as Document No. _____.

County Recorder, Isanti County, Minnesota.

NOTE REGARDING WETLANDS
THE MINNESOTA DEPARTMENT OF NATURAL RESOURCES, UNITED STATES CORPS OF ENGINEERS AND OTHER WATER MANAGEMENT AGENCIES HAVE DETERMINED THAT THERE ARE NO WETLANDS ON THE PLAT. THE MINNESOTA DEPARTMENT OF NATURAL RESOURCES, SUBDIVISION 1 OF MINNESOTA STATUTES AND MAY NOT BE SHOWN HEREON. DOCUMENTATION OF LANDS CONTAINING SAID WETLANDS MAY BE SUBJECT TO SPECIAL ORDINANCES OF JURISDICTION.

BEARING NOTE
FOR THE PURPOSES OF THIS PLAT, THE SOUTHERLY CORNER OF OUTLOT C, SUN PRAIRIE FIRST ADDITION, IS ASSUMED TO BEAR SOUTH 89 DEGREES 50 MINUTES 37 SECONDS EAST.



BEING 5 FEET IN WIDTH, AND INCLUDING SIDE LOT LINES, AND BEING 5 FEET IN WIDTH, AND INCLUDING SIDE LOT LINES, UNLESS OTHERWISE SHOWN ON THE PLAT.

CAMERON ISANTI
SCHOOL DISTRICT 971





**CITY OF ISANTI
SPECIAL PLANNING COMMISSION MEETING
WEDNESDAY, NOVEMBER 7, 2018
IMMEDIATELY FOLLOWING THE ECONOMIC DEVELOPMENT AUTHORITY
MEETING AT 7:00 PM
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

2. Approval of the Agenda

3. Meeting Minutes
 - A. Approval of Minutes from the October 16, 2018 Regular Planning Commission

4. Discussion Items
 - A. Conceptual Planned Unit Development Review – Heritage Estates, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

5. Public Hearings

(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)

 - A. Request from Level Contracting, LLC for a Preliminary Plat Approval of "Heritage Estates" subdivision, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

5. Adjournment

CITY OF ISANTI
PLANNING COMMISSION MINUTES
OCTOBER 16, 2018

3A

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:15 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Ross Lorinser, Paul Bergley, Dan Collison, Steve Lundeen, Joey Lemay, Arissa Simon.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Lundeen, seconded by Bergley to adopted the agenda, approved unanimously.

3. Approval of the Minutes from the October 2, 2018 Special Planning Commission

Motion by Collison, seconded by Lorinser to approve the minutes from the October 2, 2018 Special Planning Commission meeting, approved unanimously.

4. Consideration of: Request from First Fruits Land Development LLC for approval of the Final Plat of Sun Prairie Fourth Addition for the land legally described as Outlot G, Sun Prairie First Addition, Isanti County, Minnesota

Motioned by Lundeen, seconded by Collison to approve with staff conditions. Motion passed unanimously.

5. Public Hearings

None

6. Discussion Items

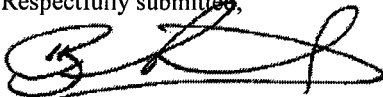
None

7. Adjournment

Motion by Bergley, second by to Lemay to adjourn the October 16, 2018 meeting of the Planning Commission. Motion was unanimously approved. The meeting adjourned at 7:17 p.m.

Dated at Isanti, Minnesota this 22nd day of October, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director

**MEMORANDUM**

TO: Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *R*

DATE: November 7, 2018

SUBJECT: **CONCEPTUAL PLANNED UNIT DEVELOPMENT – HERITAGE ESTATES**

Request:

Planning Commission conceptually review of the proposed Planned Unit Development (PUD) for Heritage Estates subdivision submitted by Level Contracting, LLC.

What's a PUD?

In the most basic way, a PUD is a creative zoning district adopted just for specific projects and developments. PUDs allow the City and the developer greater freedoms, imagination, and flexibility of development by circumventing our traditional zoning code, which may cause undue hardships on development of parcels.

Often, when considering a PUD, the Planning Commission should consider the following:

- 1) Density of Housing
- 2) Design & Layout of Development
- 3) Housing Styles
- 4) Preservation of Natural Resources
- 5) Reduction in Utility Costs
- 6) Consistency with the Comprehensive Plan

This list is not all inclusive, but rather a guiding point for the Planning Commission.

Background:

Heritage Estates was originally part of the Sun Prairie First Addition, this development included 60 units of attached townhomes in several buildings (3-4 units per building). Currently, the property is zoned R-3B "Medium Density Multiple-Family Residential". The developer has proposed 50 single-family homes (a mixture of detached townhomes and split-level homes).

The R-3B underlying district allows up to 10.89 units/acre the overall density of this project is 5.43 units/acre. Detached townhomes and single-family homes are not permitted uses in the R-3B zoning district, however, the City Planning Commission may allow them as part of the PUD. The other option may include rezoning the property to R-3A, which would be more restrictive in density and lot sizes.

Staff PUD Comments (broken down by Block)

Block 1: As proposed there are a total of 18 homes (15 are detached townhomes, 3 are split level homes). This translates into 5.16 units/acre. Lot sizes range from 5,226 sq ft to 15,419 sq ft, with an average lot size of 8,444 sq ft.

I would recommend combining lots 16 and 17 in Block 1 to create one 10,881 sq ft lot. This would reduce density from 5.16 units/acre to 4.87 units/acre.

Block 2: As proposed there are a total of 12 homes (8 detached townhomes, 3 split level homes, 1 rambler). This density is 6.59 units/acre. Lot sizes range from 4,813 sq ft to 12,201 sq ft, with an average size of 6,602 sq ft.

I would recommend combining 3 & 4, 5 & 6, 7 & 8. This would increase lot sizes on an already shallow lot due to the existing stormwater pond on Outlot C. As a result, the developer would lose three homes, which would reduce density from 6.59 units/acre to 4.95 units/acre.

Block 3: As proposed there are 20 homes (7 detached townhomes, 8 ramblers, 5 split level homes). The proposed density is 5.13 units/acre. Lot sizes range from 4,945 sq ft to 15,829 sq ft with an average size of 8,484 sq ft.

I would recommend combining lots 2 & 3, and 12 & 13. This would reduce the total density from 20 homes to 18 homes, or 4.6 units/acre.

Wetlands within Outlot E are not impacted, and the existing regional storm water pond on Outlot C is utilized.

Planning Commission Action:

There is no required action for conceptual review. Given that the applicant has paid for a special meeting of the Planning Commission to take action on the submitted preliminary plat, we need to make sure the preliminary plat approval is consistent with the conceptual review of the PUD.

Staff will take comments provided by the Planning Commission and ensure they are part of the development agreement and the PUD.

**MEMORANDUM**

TO: Members of the Planning Commission

FROM: Ryan Kernosky, Community Development Director *P*

DATE: November 7, 2018

SUBJECT: **RESOLUTION NO. 2018-XXX – PRELIMINARY PLAT APPROVAL OF HERITAGE ESTATES**

Request:

Preliminary Plat approval of Heritage Estates subdivision located on PIDs 161090500, 161090510, and 161090530 (Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota).

Background:

Level Contracting, LLC has submitted a completed preliminary plat application for the platting of 50 single-family lots that abut the existing Cherrywood Ln NE and 9th Ave SE streets. The development will consist of 30 detached townhomes and 20 split or rambler homes.

This area was developed as the Sun Prairie First Addition and was slated for roughly 61 attached townhomes.

Unique Characteristics:

Because the original development was slated for attached townhomes with private roads and private sewer and water lines, public sewer and water mains have been installed within the roadway. There are no public laterals from the water and sewer mains. Because of that, the developer is proposing to have private utility lines that would be in the front yards and would have laterals to the homes off of the private line.

Comprehensive Plan:

This area is identified as "Medium Density Residential" in the 2008 Comprehensive Plan. It is consistent with our future land use of this area.

Miscellaneous:

Notice of public hearing was provided to all property owners within 350' of the subject parcels, a public hearing notice was published in the *Isanti County News* on October 25, 2018.

City Council must act on this preliminary plat no later than April 18, 2019.

Staff Recommendation:

I am recommending approval with the following conditions:

- 1) The developer must enter into a development agreement with the City of Isanti
- 2) Combine the following proposed lots:
 - a. Block 1, Lots 16 & 17
 - b. Block 2, Lots 3 & 4, 5 & 6, 7 & 8
 - c. Block 3, Lots 2 & 3, 12 & 13
- 3) Final plat must have a 30' wide utility easement along both sides of Cherrywood Ln NE, 8th Ave NE, and along the West-side of 9th Ave NE.
- 4) Developer must address all items in the letter dated October 25, 2018.
- 5) Developer must provide the City proof of ownership prior to final platting.

Attachments:

- Resolution No. 2018-XXX
- Findings of Fact & Conclusion
- Preliminary Plat – Heritage Estates
- Letter dated Oct. 25, 2018

RESOLUTION NO. 2018-XXX

A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR HERITAGE ESTATES

WHEREAS, Level Contracting, LLC has made application for Preliminary Plat approval for Heritage Estates, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota; and,

WHEREAS, the City of Isanti Planning Commission conducted a public hearing on the Preliminary Plat on November 7, 2018; and,

WHEREAS, all required notices regarding the public hearing were posted and sent to property owners within 350' of the subject parcels; and,

WHEREAS, the City Council reviewed the Preliminary Plat request at the November 20, 2018 meeting.

NOW, THEREFORE, BE IT RESOLVED by the City of Isanti, Minnesota that it hereby adopts the Findings of Fact and Conclusion related to the requested Preliminary Plat, and **BE IT FURTHER RESOLVED** that the requested Preliminary Plat approval for Heritage Estates from Level Contracting, LLC be approved with the following conditions:

- 1) The developer must enter into a development agreement with the City of Isanti
- 2) Combine the following proposed lots:
 - a. Block 1, Lots 16 & 17
 - b. Block 2, Lots 3 & 4, 5 & 6, 7 & 8
 - c. Block 3, Lots 2 & 3, 12 & 13
- 3) Final plat must have a 30' wide utility easement along both sides of Cherrywood Ln NE, 8th Ave NE, and along the West-side of 9th Ave NE.
- 4) Developer must address all items in the letter dated October 25, 2018.
- 5) Developer must provide the City proof of ownership prior to final platting.

Adopted by the City of Isanti City Council this 20th day of November, 2018.

Mayor George A. Wimmer

ATTEST:

Katie Brooks
City Clerk/Human Resources

FINDINGS OF FACT AND CONCLUSION

Request

Request from Level Contracting, LLC, for Preliminary Plat Approval of Heritage Estates, legally described as Outlots A, B, & D of Sun Prairie First Addition, Isanti County, Isanti, Minnesota.

Findings of Fact

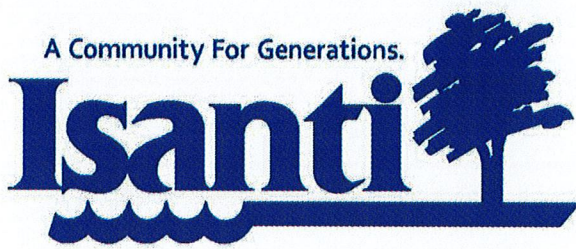
1. The applicant, Level Contracting, LLC ('the applicant'), has made application for Preliminary Plat Approval of Heritage Estates, Isanti County, Minnesota.
2. The property is legally described as Outlots A, B, & D of Sun Prairie First Addition, Isanti County, Isanti, Minnesota.
3. The Applicant is requesting Preliminary Plat Approval in an effort to create 50 lots.
4. The property is zoned "R-3B" Medium Density Multiple-Family Residential
5. The applicant has submitted an application for a Planned Unit Development to allow for smaller lot sizes, single-family homes, and moderate density on the subject parcels.
6. A preliminary plat is considered a major change requiring a public hearing and notification of all property owners within 350'; and final approval by the City Council.
7. The Applicant submitted an application for Preliminary Plat Approval on October 18, 2018. It was deemed complete on October 18, 2018.
8. A public hearing date before the Planning Commission was scheduled for Wednesday November 7, 2018 at 7:00 p.m. at City Hall within the Council Chambers.
9. Notices were sent to all property owners located within the development and within 350 feet of the subject property.

Conclusions

1. The City Planning Commission has conceptually reviewed the proposed PUD and preliminary plat and have recommended approval with conditions set forth in the Resolution attached to this document.

Decision

The Planning Commission held a public hearing on the item on November 7, 2018 Special City Planning Commission meeting. The meeting minutes, staff memo and exhibits will be made part of the Findings of Facts and Conclusions.



Ryan J. Kernosky, MPA
Director of Community Development
Interim Director of Economic Development
City of Isanti, Minnesota

110 1st Avenue NW
PO Box 428
Isanti, MN 55040
763-444-5512
rkernosky@cityofisanti.us



October 25, 2018

Level Contracting, LLC
Attn Monty Jensen
20891 145th St NW
Elk River, MN 55330

Delivered Via Email

RE: APPLICATION FOR PRELIMINARY PLAT APPROVAL – HERITAGE ESTATES

Mr. Jensen,

Thank you for applying for the preliminary plat approval of your project, "Heritage Estates". Staff has deemed your application complete and at your request we have scheduled a public hearing on **November 7, 2018** at 7:00 pm to consider your application.

As part of the initial review process, Community Development and City Engineering have reviewed your plans to subdivide three outlots into 50 single-family residential parcels for development. This plan included privatized water and sewer lines. Please review the comments below and update your plans.

City Engineering:

1. Submit figure showing subcatchments and ponding areas used in the HydroCAD model.
2. Use a minimum 0.32% slope on 12-inch dual walled HDPE storm sewer pipe. (FES5, CB4)
3. The City uses 8-inch DIP watermain and 1-inch copper water service lines.
4. No sewer or water service is shown to Lot 9 Block 2.

City Planning:

1. A development agreement must be signed with the City.
2. An application for a "Planned Unit Development" (PUD) must be made. The conceptual PUD will be presented at the November 7th, 2018 Planning Commission meeting alongside the preliminary plat.
3. Utility and sidewalk easements encompassing the front setback areas will need to be provided to the City.

If you have any questions or concerns regarding this letter, please feel free to contact me by phone at (763) 444-5512 or via e-mail at rkernosky@cityofisanti.us.

Sincerely,

A handwritten signature in black ink, appearing to read "Ryan J. Kernosky".

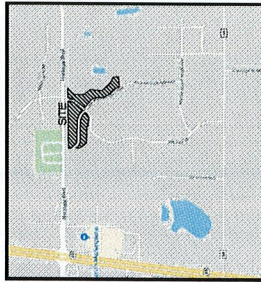
Ryan J Kernosky, MPA
Community Development Director
Interim Economic Development Director
rkernosky@cityofisanti.us
763-444-5512

CERTIFICATE OF SURVEY

HERITAGE ESTATES
LEVEL CONTRACTING, LLC
20891 145TH STREET NW
ELK RIVER, MN 55330
MONTY JENSEN
(216) 838-3608

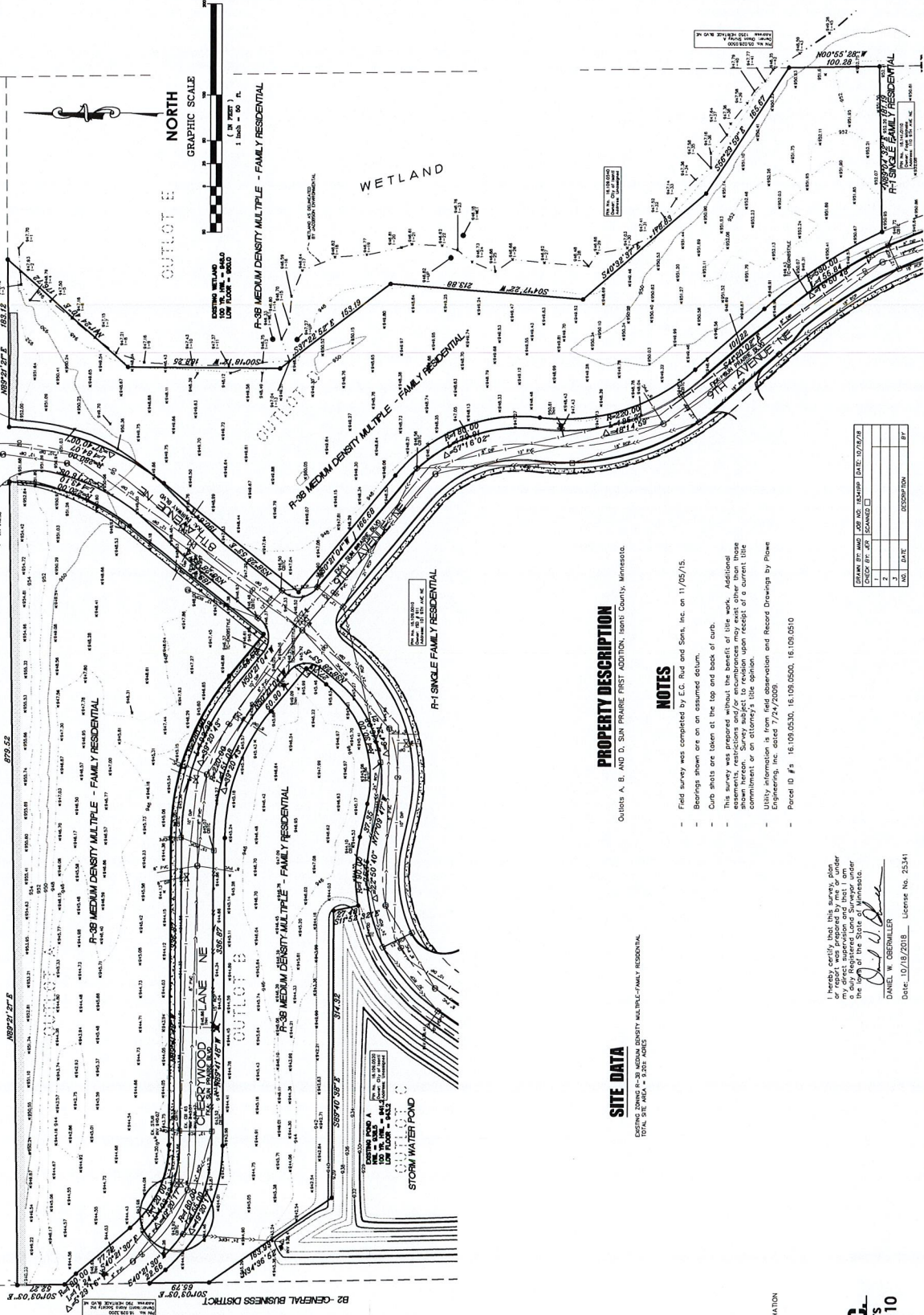
VICINITY MAP

PART OF SEC. 29, TWP. 35, RANG. 23



SANTI COUNTY, MINNESOTA
(NO SCALE)

COUNTY STATE AID HIGHWAY NO. 5



SITE DATA

EXISTING ZONING R-3B MEDIUM DENSITY MULTIPLE-FAMILY RESIDENTIAL
LOCAL ORD. NO. 16-05-0500

PROPERTY DESCRIPTION

OUTLOTS A, B, AND D, SUN PRIME FIRST ADDITION, ISANTI COUNTY, MINNESOTA.

NOTES

- Field survey was completed by E.C. Rud and Sons, Inc. on 11/05/15.
- Bearings shown are on an assumed datum.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional work may be required to determine the true status of the property shown herein. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Utility information is from field observation and Record Drawings by Flow Engineering, Inc. dated 7/24/2005.
- Parcel ID #s: 16.109.0530, 16.109.0500, 16.109.0510

LEGEND

- DENOTES CATCH BASIN
- DENOTES STORM SEWER MANHOLE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING UTILITY LINE
- DENOTES EXISTING CONTOURS

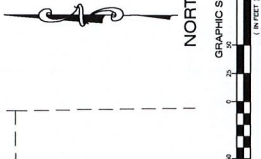
○ DENOTES ADJACENT PARCELS, OTHER INFORMATION
(PER SANTI COUNTY TAX INFORMATION)

EXAM. BY	DATE	NO. OF SHEETS	TOTAL SHEETS

I hereby certify that this survey, plan, map, or drawing was prepared by me or my direct supervision and that I am a duly licensed professional land surveyor in the State of Minnesota.

Daniel W. Gersbiller
DANIEL W. GERSBILLER License No. 25341
Date: 10/19/2018

E.C. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel: (651) 361-8200 Fax: (651) 361-8701
www.egrud.com

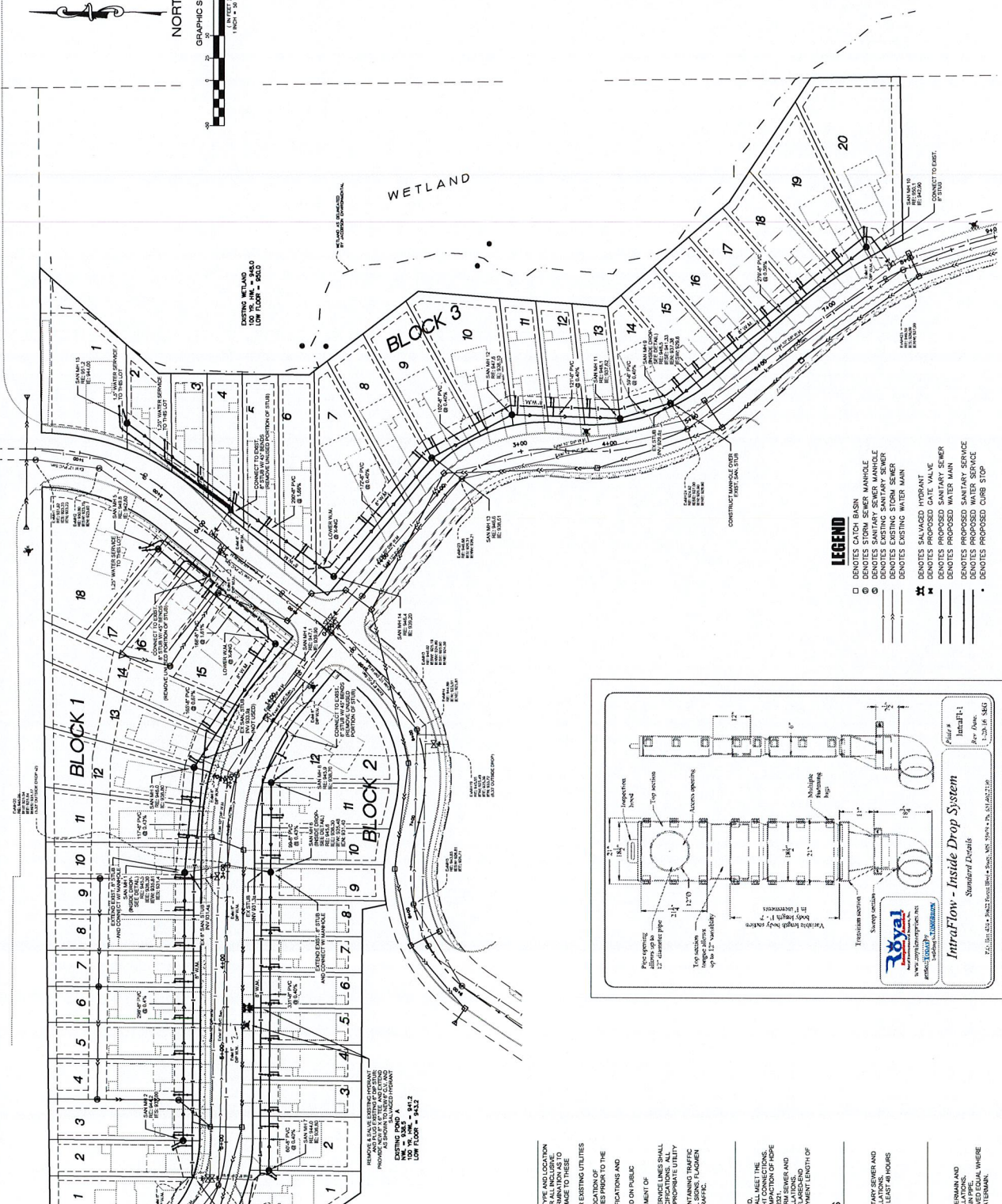


Plowe
ENGINEERING, INC.
SOUTH 1700 DRIVE
LAND LAKE, MN 55074
PHONE (763) 251-0270
FAX (763) 251-0271

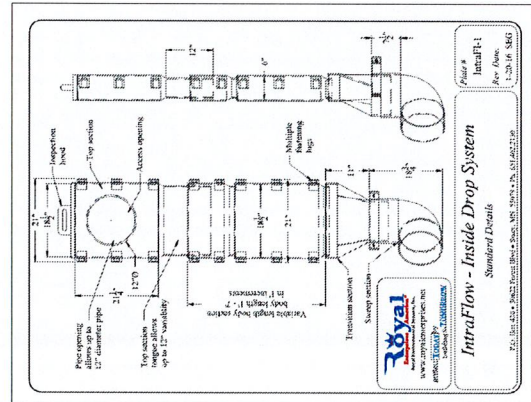
NO.	DATE	DESCRIPTION
1	10/18/2019	ISSUE NO. 2985
2		
3		
4		
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6		

PREPARED FOR: HERITAGES BUILDERS LLC
SANITARY SEWER & WATER MAIN
PRELIMINARY UTILITY PLAN
CITY OF ISANTI, MINNESOTA
PREPARED BY: MELODY M. HARRIS, P.E.
REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA
DRAWN BY: J. HARRIS
CHECK BY: J. HARRIS
JOB NO.: 18-1774
DATE: 10-18-2019

SHEET
C.001
18-1774



- LEGEND**
- DENOTES EXISTING HYDRANT
 - DENOTES STORM SEWER MANHOLE
 - DENOTES SANITARY SEWER MANHOLE
 - DENOTES EXISTING SANITARY SEWER
 - DENOTES EXISTING WATER MAIN
 - DENOTES SALVAGED HYDRANT
 - DENOTES PROPOSED HYDRANT
 - DENOTES PROPOSED STORM SEWER
 - DENOTES PROPOSED SANITARY SEWER
 - DENOTES PROPOSED WATER MAIN
 - DENOTES PROPOSED SANITARY SERVICE
 - DENOTES PROPOSED WATER SERVICE
 - DENOTES PROPOSED CURB STOP



GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UTILITIES IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- CALL 911 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATIONS FOR EXISTING UTILITIES.
- THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
- INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND ORDINANCES.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC RIGHTS-OF-WAY.
- NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION.
- ALL ELECTRICAL, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONTRACTED TO THE APPROPRIATE UTILITY COMPANY OR PROFESSIONAL UTILITY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.

STORM SEWER NOTES

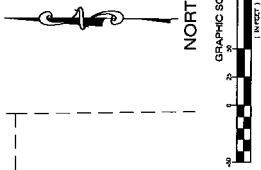
- MANHOLES SHALL BE CONCRETE PIPE (RPT) WITH R-4 GASKETS, AND:
 - 1.1. 18" DIAMETER CONCRETE PIPE (RPT) WITH R-4 GASKETS, AND;
 - 1.2. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE, HOPE PIPE SHALL MEET THE REQUIREMENTS OF ASTM D2688.
- USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF FIBRE OPTIC CABLES.
- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND WATER MAINS PRIOR TO ANY EXCAVATION.
- SECTION LAP LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

SANITARY SEWER NOTES

- PROPOSED SANITARY SEWER PIPE SHALL BE:
 - 1.1. 8" PVC D208 (ASTM D2083)
 - 1.2. 12" HDPE D2083 (ASTM D2083)
- FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING SANITARY SEWER AND WATER MAINS PRIOR TO ANY EXCAVATION.
- CONTRACTOR TO CONTACT CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING SANITARY SEWER.

WATERMAIN NOTES

- PROPOSED WATERMAIN PIPE SHALL BE:
 - 1.1. 12" HDPE D2083 (ASTM D2083)
 - 1.2. 18" HDPE D2083 (ASTM D2083)
- NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- PROVIDE PRELIMINARY INSTALLATION POST-CONSTRUCTION OR APPROVED EQUAL, WHERE NECESSARY.
- SANITARY SEWER OR STORM SEWER CROSSES WITHIN 18" OF WATERMAIN.



PLOWE
ENGINEERING, INC.
300 W. W. AVE. - SUITE 100
LINDA LAKE, MN 55834
PHONE: (855) 338-2870
WWW.PLOWEENGINEERING.COM

NO.	DATE	DESCRIPTION
1	10.11.2018	15444-00-10000 PRELIMINARY
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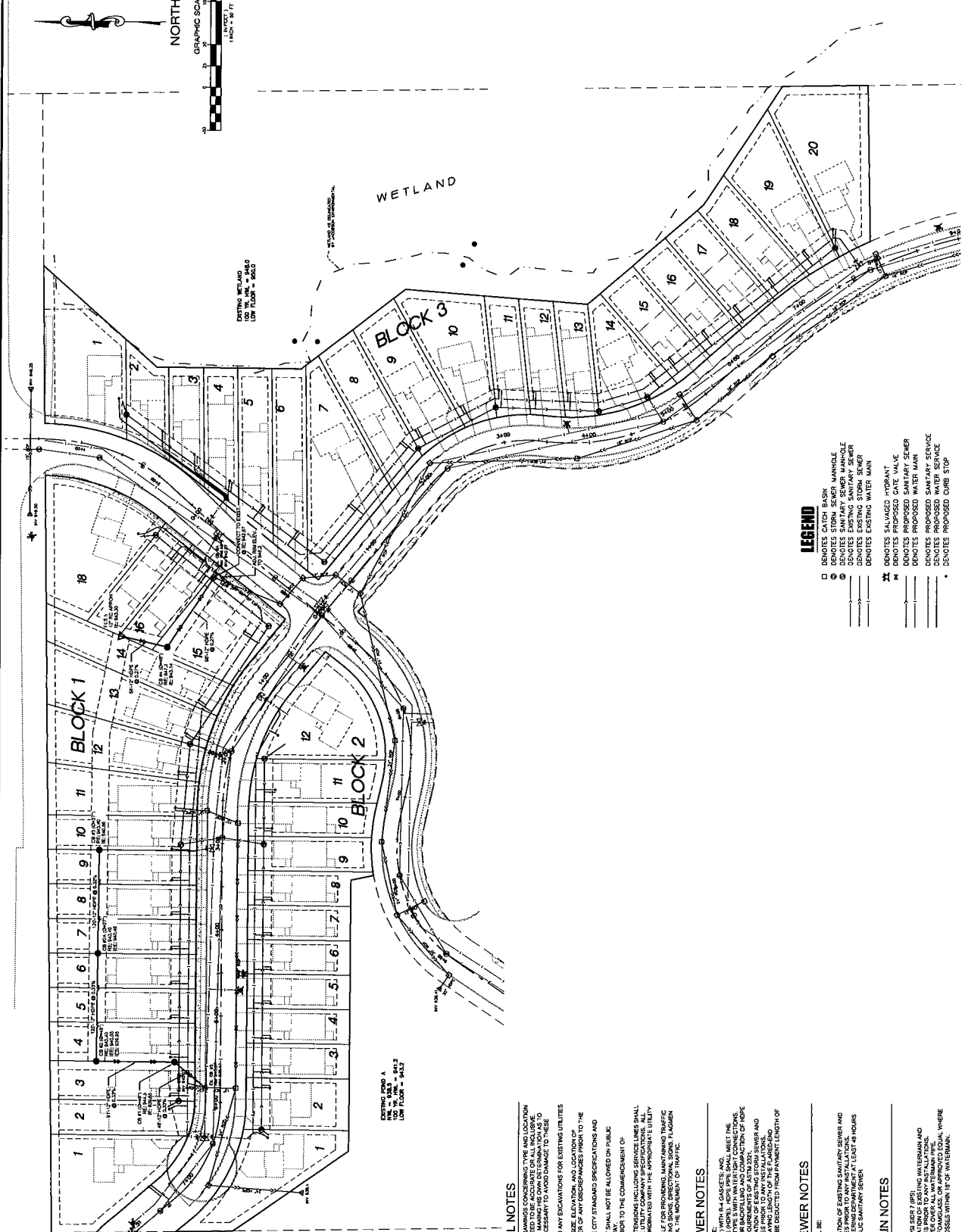
HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 10.11.2018 15444-00-10000 PRELIMINARY

PREPARED FOR: HERITAGES BUILDERS LLC

HERITAGE ESTATES
CITY OF ISANTI, MINNESOTA
STORM SEWER
PRELIMINARY

SHEET
C.002
18-1774



- LEGEND**
- DENOTES EXISTING WATER MAIN
 - DENOTES STORM SEWER MANHOLE
 - DENOTES SANITARY SEWER MANHOLE
 - DENOTES EXISTING SANITARY SEWER
 - DENOTES EXISTING WATER MAIN
 - DENOTES EXISTING WATER MAIN
 - DENOTES SALVAGED ADRANT
 - DENOTES EXISTING WATER MAIN
 - DENOTES PROPOSED SANITARY SEWER
 - DENOTES PROPOSED WATER MAIN
 - DENOTES PROPOSED SANITARY SERVICE
 - DENOTES PROPOSED WATER SERVICE
 - DENOTES PROPOSED CURB STOP

GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UTILITIES IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- AT LEAST 48 HOURS PRIOR TO ANY EXCAVATIONS FOR EXISTING UTILITIES, THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER 48 HOURS PRIOR TO THE START OF ANY EXCAVATIONS.
- ALL EXCAVATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAILS. ALL EXCAVATIONS SHALL BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY ONLY.
- NO CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY THE CITY OF ANY EXCAVATION. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND STORM SEWER LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND SIGNS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.

STORM SEWER NOTES

- PROPOSED STORM SEWER SHALL BE:
 - 1.1" REINFORCED CONCRETE PIPE (RCP) WITH #4 CASKETS AND 1.5" RINGS.
 - 1.2" 15' RINGS.
 - 1.3" 15' RINGS.
 - 1.4" 15' RINGS.
- FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING STORM SEWER AND STORM SEWER LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND SIGNS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.

SANITARY SEWER NOTES

- PROPOSED SANITARY SEWER PIPE SHALL BE:
 - 1.1" 15' RINGS.
 - 1.2" 15' RINGS.
 - 1.3" 15' RINGS.
 - 1.4" 15' RINGS.
- FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING SANITARY SEWER AND SANITARY SEWER LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND SIGNS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.
- PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING PUBLIC SANITARY SEWER.

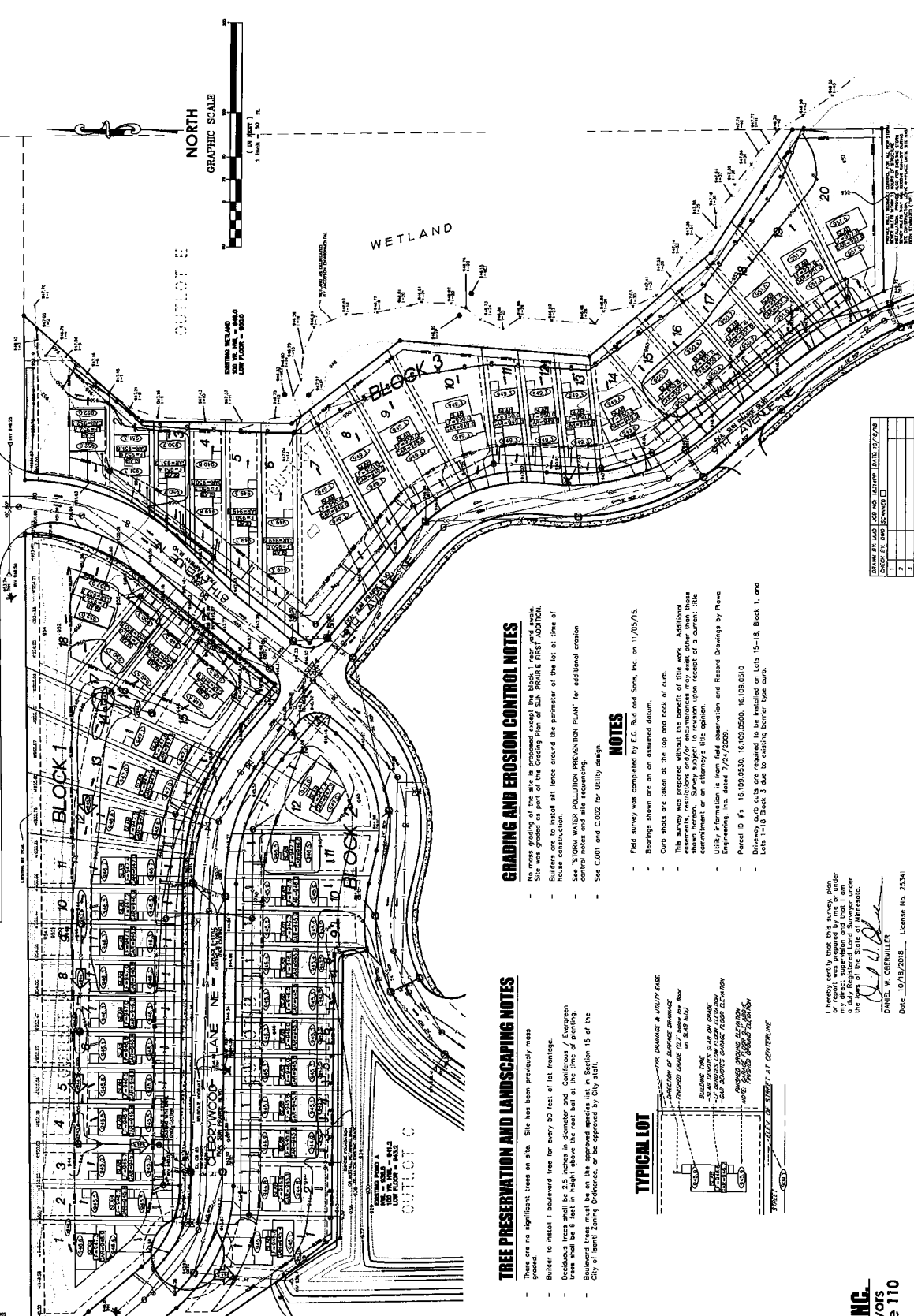
WATERMAIN NOTES

- PROPOSED WATERMAIN SHALL BE:
 - 1.1" 15' RINGS.
 - 1.2" 15' RINGS.
 - 1.3" 15' RINGS.
 - 1.4" 15' RINGS.
- FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING WATERMAIN AND WATERMAIN LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MAINTAINING TRAFFIC CONTROL, SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND SIGNS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.
- PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING PUBLIC WATERMAIN.

PRELIMINARY DEVELOPMENT PLAN

of HERITAGE ESTATES
 Level CONTRACTING LLC
 20891 145TH STREET NW
 ELK RIVER, MN 55330
 MONTY JENSEN
 (218) 838-5608

COUNTY STATE AD HIGHWAY NO. 5



NORTH
 GRAPHIC SCALE
 1" = 100' H.

WETLAND

GRADING AND EROSION CONTROL NOTES

- Site mass grading of the site is proposed except the blocks 1, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- Builders are to install all fences around the perimeter of the lot at time of house construction.
- See "STORM WATER POLLUTION PREVENTION PLAN" for stippled erosion control notes and site sequencing.
- See C.001 and C.002 for Utility design.

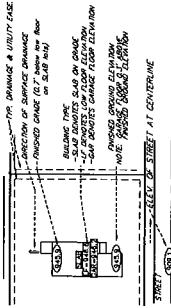
NOTES

- Field survey was completed by E.C. Rud and Sons, Inc. on 11/05/15.
- Bearings shown are on an assumed datum.
- Corp sheets are located at the top and back of set.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encroachments may exist other than those shown hereon. Survey subject to revision upon receipt of a current title report from an attorney's title opinion.
- Engineering, Inc. dated 7/24/2009.
- Proceed ID #s: 16.109.0530, 16.103.0500, 16.105.0510
- Lots 1-18 Block 3 are to include border type storm.

TREE PRESERVATION AND LANDSCAPING NOTES

- There are no significant trees on site. Site has been previously mowed.
- Builder to install 1 boulevard tree for every 50 feet of lot frontage.
- Deciduous trees shall be 2.5 inches in diameter and Conifers / Evergreen trees shall be 1.5 feet in height above the root ball at the time of planting.
- Boulevard trees must be on the approved species list in Section 15 of the City of Henri Zoning Ordinance, or be approved by City staff.

TYPICAL LOT



LEGEND

- DENOTES PROPOSED CATCH BASIN
- DENOTES PROPOSED STORM SEWER MANHOLE
- DENOTES PROPOSED SANITARY SEWER MANHOLE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SANITARY SEWER
- DENOTES EXISTING CATCH BASIN
- DENOTES EXISTING STORM SEWER MANHOLE
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING 2 FOOT CONTOURS
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES PROPOSED SUT FENCE
- DENOTES PROPOSED OVERFLOW ELEVATION (ELEVATION)
- DENOTES DIRECTION OF DRAINAGE (ELEVATION)
- DENOTES PROPOSED SPOT ELEVATION

DESIGNED BY: MONTY JENSEN
 DRAWN BY: MONTY JENSEN
 CHECKED BY: MONTY JENSEN
 DATE: 10.18.2018
 PROJECT NO.: 18001

PLOWE ENGINEERING, INC.
 678 LAKE DRIVE
 LINO LAKES, MN 55014
 PHONE: (651) 261-8210
 FAX: (651) 261-8791

SITE PLANNING & ENGINEERING

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF MINNESOTA.

[Signature]
 ADAM OWSEL
 DATE: 10.18.2018 LC. NO. 4588

E.C. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 361-8200 Fax: (651) 361-8701

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

[Signature]
 DANIEL W. OBERMULLER
 Date: 10/19/2018 License No. 25141

NO.	DATE	DESCRIPTION
1		
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**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY NOVEMBER 20, 2018
IMMEDIATELY FOLLOWING THE CITY COUNCIL MEETING AT 7:00 PM
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
2. Approval of the Agenda
3. Meeting Minutes
 - A. Approval of Minutes from the November 7, 2018 Special Planning Commission
4. Public Hearings

(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)

 - A. Request from Knife River for I-1 Tier-1 Conditional Use Permit & Site Plan Approval of a Medium Manufacturing Facility for a Septic Tank Casting Facility on PID 050201803.
5. Adjournment

CITY OF ISANTI
SPECIAL PLANNING COMMISSION MINUTES
NOVEMBER 7, 2018

3A

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:10 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Ross Lorinser, Paul Bergley, Dan Collison, Steve Lundeen, Joey Lemay, Arissa Simon.

Members Absent: None.

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Lorinser, seconded by Lundeen to adopted the agenda, approved unanimously.

3. Approval of the Minutes from the October 16, 2018 Planning Commission

Motion by Collison, seconded by Lundeen to approve the minutes from the October 16, 2018 Planning Commission meeting, approved unanimously.

4. Discussion Items

A. Conceptual Planned Unit Development Review – Heritage Estates, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

Director Kernosky explained that the first step in a planned unit development special overlay district (PUD) is a conceptual review by the Planning Commission. Kernosky explained why a PUD is, and how it is applied to the zoning code. Kernosky explained that the proposed project, Heritage Estates, has requested a PUD because of density of the project, Kernosky continued to explain that he has reviewed the project and has recommended combining some lots to reduce density. He advised the Planning Commission that this is just conceptual review and was seeking guidance from the Planning Commission.

Commissioner Lorinser inquired about density and how many homes would need to be removed to meet the zoning code. Kernosky stated that this was a unique situation because the underlying R-3B zoning doesn't allow for single-family homes, however, because we are going down the PUD route, that we have additional flexibility. Kernosky stated that the R-3B allows 10.89 units/acre, but advised the Planning Commission that said density is for multi-family developments. Lorinser asked what the proposed density was and the comparison between the Villages on the Rum development, Kernosky stated that he did not know, but did explain the Villages on the Rum Association purpose.

Commissioner Lundeen stated that he was in favor of the staff recommendations, he was concerned about the small lot sizes.

Monty Jensen, owner of Level Contracting, stated he's been building in Isanti for 2 years, he stated that the lower density of a previously proposed 39-lot subdivision didn't work with the costs of putting in utilities. Jensen stated that they will be putting together an association similar to the Villages on the Rum Association to take care of all the snow plowing, lawn mowing, etc. Jensen also stated he would prefer the 50-unit plan over the City staff recommended 44-unit plan.

Lorinser inquired about how the homes will look, Jensen said that they will be varied. Lorinser also inquired about why the developer wouldn't build townhomes as proposed previously. Jensen stated that he was also a realtor, and stated that townhomes were big pre-recession because of home values, he now states that single-family homes are still reasonably priced. Lorinser stated that the City may want to wait for townhomes on this property.

Mayor Wimmer stated that this plan has changed a number of times over the last few years, and that there's been no solid plan on developing these parcels. He advised the Planning Commission and Council not to judge the housing market, but make sure the development occurs in a smart way.

Lundeen stated he's been in construction for a number of years and that he hasn't seen a lot of townhouse development recently. Lundeen also briefly discussed the prices of slab on grade and split-level homes.

Kernosky discussed the reduction that staff has proposed, and referred to the staff memo with proposed densities for each block. Jensen stated that the developer was fine with either density option, but would prefer the higher density.

Commissioner Collision stated that association homes are selling. Jensen concurred.

Mayor Wimmer asked for motions, Lorinser moved to approve, seconded by Lundeen, to approve with the 50-units proposed by the developer. Kernosky advised the Commission that, because of the higher density, he advised a friendly amendment to add additional right of way along Heritage Blvd NE for future intersection updates. Motion, with staff friendly amendment approved unanimously.

5. Public Hearings

A. Request from Level Contracting, LLC for a Preliminary Plat Approval of "Heritage Estates" subdivision, legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.

Director Kernosky stated this is a continuance, advised that the Planning Commission to approve without staff recommendations, item 2 a, b, c.

Mayor Wimmer opened the public hearing at 7:30 p.m.

No one spoke during the public hearing.

Mayor Wimmer closed the public hearing at 7:30 p.m.

Motion to approve by Lorinser, seconded by Collision with conditions, motion approved unanimously.

6. Discussion Items


None

7. Adjournment

Motion by Lorinser, second by to Lundeen to adjourn the November 7, 2018 meeting of the Planning Commission. Motion was unanimously approved. The meeting adjourned at 7:30 p.m.

Dated at Isanti, Minnesota this 15th day of November, 2018.

Respectfully submitted,



Ryan Kernosky
Community Development Director



MEMORANDUM

TO: Isanti Planning Commission

FROM: Ryan Kernosky, Community Development Director *RK*

DATE: November 20, 2018

SUBJECT: **PUBLIC HEARING – Request from Knife River for I-1 Tier-1 Conditional Use Permit & Site Plan Approval of a Medium Manufacturing Facility for a Septic Tank Casting Facility on PID 050201803**

Request: Knife River (applicant) has submitted a complete application for a Conditional Use Permit and Site Plan Approval for the construction of a Medium Manufacturing Facility for a Septic Tank Casting Facility on PID 050201803.

Background: The subject parcel is not within the City of Isanti's corporate limits; however, the City has jurisdictional zoning over this property as it falls within the "I-1 Tier-1" extraterritorial zoning district. As such, all development approvals must go through the City's process.

Knife River has submitted plans for a Septic Tank Casting Facility. This is a proposed 9,000 sq ft facility 25' in height. There is one proposed entrance off of Cajima St NE. The applicant has designed this facility around the understanding that E Dual Blvd NE will be extended at some point in the future to service an addition to the Isanti Industrial Park. All setbacks, impervious surface coverages, and other zoning requirements are met with this project, or should be met with conditions called out in the attached Resolution:

Public Comment: Property owners with 350' of the subject property were notified of this public hearing. Notice was also provided in the City's legal newspaper.

At the time of this staff report, no public comment has been received by my office.

Staff Comments and Recommendations: This is an extension of the existing Knife River facility on the corner of TH-65 and Cajima St NE. This property is zoned Industrial, and as such, the use fits within that zoning district. **Staff is recommending approval with the following conditions:**

1. Adjust driveway entrance to align with Junction Bowl western driveway.
2. Add additional Wainscoting along West-side of building for future E Dual Blvd NE extension

3. Enter into a Landbank Parking Agreement with the City of Isanti
4. Properly screen any recycling and trash receptacles per City Ordinance
5. Provide screening around outdoor storage area per City Ordinance
6. Identify future right of way for the E Dual Blvd NE extension
7. Obtain proper federal, state, county, and City permits for construction and operation of the facility
8. Address concerns identified in the November 8th, 2018 letter from the CDD Director

Conditional Use Permit Standards: Section 21, Subd. 4 provides minimum standards for granting a Conditional Use Permit.

A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.

Cajima St NE and E Dual Blvd NE are both built to industrial park standards, as such this standard is met.

B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.

The applicant will shift the entrance off of Cajima St NE to align with the western access to Junction Bowl. It is intended that due to the proposed J-turn on TH-65 and the increased traffic at E Dual Blvd NE and Heritage Blvd due to new development, that Cajima St NE will be the main entrance and exit of the Isanti Industrial Park. This standard is met.

C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

Parking is proposed to be adjacent to the building with little pedestrian/vehicular traffic conflict. This standard is met.

D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.

Off-street parking is met with the applicant entering into a landbank parking agreement with the City of Isanti. At any time in the future, the City may require additional parking. This standard is met.

E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance with Section 17 of this Ordinance.

Loading areas will be on the west/east side of the building, and will offer plenty of room for maneuvering for truck traffic. There are no surrounding residential uses, only industrial and commercial. This standard is met.

F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.

There are no residential uses surrounding this property. This standard is not applicable.

G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.

The outdoor storage area will have a minimum 6' fence surrounding it. There are several mature red pine trees along Cajima St NE that offer additional screening. This standard is met.

H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.

As part of the resolution, all exterior lighting shall not cast glare toward public right of way. This standards is met.

I. The site drainage system shall be subject to the review and approval of the City Engineer.

The City Engineering Department has reviewed this plan and has provided comment as attached to this staff report. With minor changes, this standard is met.

J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

The proposed building is 25' in height and has a proposed 8' wainscot at the base and a 17' white metal wall paneling. This design will be on the south, east, and west sides of the building. The north side will be all metal wall paneling. This standard is met.

K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.

The applicant has indicated that they will be contracting trash services. It will be a condition that any recycling and trash receptacles will be property screened with compliance of our ordinances. This condition is met.

L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.

The applicant has not submitted any signage. However, if they choose to do so, it must meet the requirements set forth in Section 16 of the ordinance. This condition is not applicable at this time.

M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.

The City requires any and all federal, state, and county laws and regulations for this development is obtained. This condition is met.

N. Any applicable business licenses mandated by City Code are approved and obtained.

There are no required business licenses mandated by City Code. This standard is not applicable.

O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

This use is not surrounded by a residential zoning district. This standard is not applicable.

P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.

The performance standards are met. There appears to be no non-conformities. This standard is met.

Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.

This standard is met.

Site Plan Review Standards: Section 18, Subd. 7 provides standards in reviewing submitted site plans.

A. Consistency with the elements and objectives of the City's development guides, including the Comprehensive Plan.

The City has long-term plans to extend our industrial park further north with a future extension of E Dual Blvd NE. The City's 2008 Comprehensive Plan has this parcel split between future industrial (closer to the railroad) and future commercial (closer to TH-65).

B. Consistency with City Codes.

The proposed Medium Manufacturing facility meets minimum required setbacks, impervious surface coverage requirements, and outdoor storage requirements (as long as a fence is installed, as called out

in the attached resolution). The facility is 9,000 sq ft in size (60'x150'). The applicant has provided 9 vehicular parking stalls and 5 truck parking stalls. The applicant has also proposed providing 9 banked parking stalls for future use, if necessary. Per Section 17, Subd. 6(B) the City may permit a reduction in the number of parking stalls, as long as the applicant enters into a landbank parking agreement with the City. Per code, the applicant (without landbank parking agreement) would have to provide 18 vehicular parking stalls.

C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The proposed development is situated on 32 total acres. The disturbance area is in the southeast corner of the parcel, on roughly 201,877 sq ft or roughly 4.63 acres. The majority of the site will be undisturbed and will remain in agricultural use.

D. The amount and location of open space and landscaping.

The amount of open space and landscaping meets the requirements within our City Zoning Code.

E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

The proposed parking area, pedestrian circulation, access points to the public streets, and all other requirements have been met or are being addressed.

F. Protection of adjacent and neighboring properties through reasonable provision of surface water drainage, sound and light buffers, preservation of views, lights, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Surface drainage has been reviewed and approved by the City Engineer. There is not expected to be any other hindrances to surrounding property owners.

G. Consistency with the City's Engineering and Design standards as adopted by Resolution of the City Council.

Stormwater management plans have been reviewed and approved by the City Engineer.

RESOLUTION 2018-XXX

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT AND SITE PLAN REVIEW FOR KNIFE RIVER ON PID 050201803

WHEREAS, Knife River (applicant) has submitted a Conditional Use Permit Application and a Site Plan Review Application to operate a Medium Manufacturing Facility on PID 05.020.1803; and,

WHEREAS, PID 05.020.1803 is legally described as:

The North Half of the Southwest Quarter (N1/2 of SW1/4) of Section (20), Township Thirty-five (35), Range Twenty-three (23), Isanti County, Minnesota, lying East of Railroad Right of Way.

LESS AND EXCEPT

The South 826.61 feet of the East 948.25 thereof;

AND LESS AND EXCEPT

The North 500 feet of the East 300 feet thereof;

AND LESS AND EXCEPT

All that part of the Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4) of Section (20), Township Thirty-five (35), Range Twenty-three (23), described as follows:

Commencing at the Northeast corner of said Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4); thence West on the East-West Quarter line a distance of 300 feet to the point of beginning of the land to be described; thence South and parallel to the North-South Quarter Line a distance of 500 feet; thence West and parallel to the North line of said Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4), a distance of 150 feet; thence North and parallel to the East line of said Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4), a distance of 500 feet and to the North line thereof; thence East along said North line a distance of 150 feet to the point of beginning and there terminating, Isanti County, Minnesota.

WHEREAS, PID 05.020.1803 is within the "I-1 Tier-1" Extraterritorial Zoning jurisdiction of the City of Isanti and is subject to the zoning and building regulations set forth in the City of Isanti Zoning Ordinance; and,

WHEREAS, within City of Isanti Zoning Code Section 8, Article 1, Subd. 3(H) a Medium Manufacturing Facility is a conditional use in the Industrial Park Zoning District; and,

WHEREAS, the Isanti Planning Commission has recommended approval of the requested Conditional Use Permit and Site Plan Review based upon the Findings of Fact and Conclusion as presented with conditions; and,

WHEREAS, the City Council reviewed the requested Conditional Use Permit and Site Plan Review at the regularly scheduled meeting on December 4, 2018; and,

WHEREAS, the City Council of the City of Isanti has determined that the Conditional Use Permit and Site Plan Review meets the ordinance requirements necessary for granting approval.

NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota that it adopts the Findings of Fact and Conclusion related to the requested Conditional Use Permit and Site Plan Review, and hereby approves the Conditional Use Permit and Site Plan Review subject to the following conditions:

1. Adjust driveway entrance to align with Junction Bowl western driveway.
2. Add additional Wainscoting along West-side of building for future E Dual Blvd NE extension
3. Enter into a Landbank Parking Agreement with the City of Isanti
4. Properly screen any recycling and trash receptacles per City Ordinance
5. Provide screening around outdoor storage area per City Ordinance
6. Identify future right of way for the E Dual Blvd NE extension
7. Obtain proper federal, state, county, and City permits for construction and operation of the facility
8. Address concerns identified in the November 8th, 2018 letter from the CDD Director

This Resolution is hereby approved by the Isanti City Council this 4th day of December, 2018.

Attest:

Mayor George A. Wimmer

Katie Brooks
Human Resources/City Clerk

FINDINGS OF FACT AND CONCLUSION

Request

Request from Knife River (applicant) for a Conditional Use Permit and Site Plan Review approval for the construction of a Medium Manufacturing Facility (Septic Tank Casting Facility) located on PID 05.020.1803 (subject property), legally described as:

The North Half of the Southwest Quarter (N1/2 of SW1/4) of Section (20), Township Thirty-five (35), Range Twenty-three (23), Isanti County, Minnesota, lying East of Railroad Right of Way.

LESS AND EXCEPT

The South 826.61 feet of the East 948.25 thereof;

AND LESS AND EXCEPT

The North 500 feet of the East 300 feet thereof;

AND LESS AND EXCEPT

All that part of the Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4) of Section (20), Township Thirty-five (35), Range Twenty-three (23), described as follows:

Commencing at the Northeast corner of said Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4); thence West on the East-West Quarter line a distance of 300 feet to the point of beginning of the land to be described; thence South and parallel to the North-South Quarter Line a distance of 500 feet; thence West and parallel to the North line of said Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4), a distance of 150 feet; thence North and parallel to the East line of said Northeast Quarter of the Southwest Quarter (NE1/4 SW1/4), a distance of 500 feet and to the North line thereof; thence East along said North line a distance of 150 feet to the point of beginning and there terminating, Isanti County, Minnesota.

Findings of Fact

1. The applicant has submitted a complete application for a conditional use permit and site plan review for the construction of a septic tank casting facility located on the subject property.
2. City staff has determined that the proposed facility is consistent with the definition of 'Medium Manufacturing Facility' as outlined in Section 2 ("Definitions") of the City of Isanti Zoning Code.
3. The subject property is within the "I-1 Tier-1" Industrial Zoning District as adopted by the City of Isanti and the County of Isanti.
4. Said properties that fall within the "I-1 Tier-1" Industrial Zoning Districts are subject to City of Isanti Zoning and Building Regulations as stipulated in City Code and Ordinances.
5. Properties within the "I-1 Tier-1" Industrial Zoning District are subject to the same standards as properties zoned "I-1" Industrial Park District.
6. Medium Manufacturing Facilities are a conditional use in the "I-1" Industrial Park District.
7. All new developments within the "I-1" Industrial Park District are subject to Site Plan Review approval per City Ordinance.
8. A complete application was received on October 17, 2018 and a public hearing date before the Planning Commission was scheduled for Tuesday, November 20, 2018.

9. Notice of the Conditional Use Permit and Site Plan Review approval request was published within the Isanti County News. Notices were sent to all property owners located within 350 feet of the subject property.

Conclusions

Conditional Use Permit Standards: Section 21, Subd. 4 provides minimum standards for granting a Conditional Use Permit.

A. The use and the site in question shall be served by a street of sufficient capacity to accommodate the type and volume of traffic which would be generated an adequate public right-of-way shall be provided.

Cajima St NE and E Dual Blvd NE are both built to industrial park standards, as such this standard is met.

B. The site design for access and parking shall minimize internal as well as external traffic conflicts and shall be in compliance with Section 17 of this Ordinance.

The applicant will shift the entrance off of Cajima St NE to align with the western access to Junction Bowl. It is intended that due to the proposed J-turn on TH-65 and the increased traffic at E Dual Blvd NE and Heritage Blvd due to new development, that Cajima St NE will be the main entrance and exit of the Isanti Industrial Park. This standard is met.

C. If applicable, a pedestrian circulation system shall be clearly defined and appropriate provisions made to protect such areas from encroachment by parked or moving vehicles.

Parking is proposed to be adjacent to the building with little pedestrian/vehicular traffic conflict. This standard is met.

D. Adequate off-street parking and off-street loading shall be provided in compliance with Section 17 of this Ordinance.

Off-street parking is met with the applicant entering into a landbank parking agreement with the City of Isanti. At any time in the future, the City may require additional parking. This standard is met.

E. Loading areas and drive-thru facilities shall be positioned so as to minimize internal site access problems and maneuvering conflicts, to avoid visual or noise impacts on any adjacent residential use or district, and provided in compliance,with Section 17 of this Ordinance.

Loading areas will be on the west/east side of the building, and will offer plenty of room for maneuvering for truck traffic. There are no surrounding residential uses, only industrial and commercial. This standard is met.

F. Whenever a non-residential use is adjacent to a residential use or district, a buffer area with screening and landscaping shall be provided in accordance with the provisions of Section 15 of this Ordinance.

There are no residential uses surrounding this property. This standard is not applicable.

G. General site screening and landscaping shall be provided in compliance with Section 15 of this Ordinance.

The outdoor storage area will have a minimum 6' fence surrounding it. There are several mature red pine trees along Cajima St NE that offer additional screening. This standard is met.

H. All exterior lighting shall be directed so as not to cast glare toward or onto the public right-of-way or neighboring residential uses or districts, and shall be in compliance with Section 14 of this Ordinance.

As part of the resolution, all exterior lighting shall not cast glare toward public right of way. This standards is met.

I. The site drainage system shall be subject to the review and approval of the City Engineer.

The City Engineering Department has reviewed this plan and has provided comment as attached to this staff report. With minor changes, this standard is met.

J. The architectural appearance and functional design of the building and site shall not be so dissimilar to the existing and potential buildings and area so as to cause a blighting influence. All sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment.

The proposed building is 25' in height and has a proposed 8' wainscot at the base and a 17' white metal wall paneling. This design will be on the south, east, and west sides of the building. The north side will be all metal wall paneling. This standard is met.

K. Provisions shall be made for daily litter control, an interior location for recycling and trash handling and storage or an outdoor, enclosed receptacle area shall be provided in compliance with Section 14 of this Ordinance.

The applicant has indicated that they will be contracting trash services. It will be a condition that any recycling and trash receptacles will be property screened with compliance of our ordinances. This condition is met.

L. All signs and informational or visual communication devices shall be in compliance with Section 16 of this Ordinance.

The applicant has not submitted any signage. However, if they choose to do so, it must meet the requirements set forth in Section 16 of the ordinance. This condition is not applicable at this time.

M. The use and site shall be in compliance with any federal, state, or county laws or regulations that are applicable and any related permits shall be obtained and documented to the City.

The City requires any and all federal, state, and county laws and regulations for this development is obtained. This condition is met.

N. Any applicable business licenses mandated by City Code are approved and obtained.

There are no required business licenses mandated by City Code. This standard is not applicable.

O. The hours of operation may be restricted when there is judged to be an incompatibility with a residential use or district.

This use is not surrounded by a residential zoning district. This standard is not applicable.

P. The use complies with the applicable performance standards of the zoning district in which it is located and where applicable, any non-conformities shall be eliminated.

The performance standards are met. There appears to be no non-conformities. This standard is met.

Q. Additional Stipulations. All conditions pertaining to a specific site are subject to change when the City Council, upon investigation in relation to a formal request, finds that the general public health, safety, and welfare, can be served as well or better by modifying or expanding the conditions set forth herein.

This standard is met.

Site Plan Review Standards: Section 18, Subd. 7 provides standards in reviewing submitted site plans.

A. Consistency with the elements and objectives of the City's development guides, including the Comprehensive Plan.

The City has long-term plans to extend our industrial park further north with a future extension of E Dual Blvd NE. The City's 2008 Comprehensive Plan has this parcel split between future industrial (closer to the railroad) and future commercial (closer to TH-65).

B. Consistency with City Codes.

The proposed Medium Manufacturing facility meets minimum required setbacks, impervious surface coverage requirements, and outdoor storage requirements (as long as a fence is installed, as called out in the attached resolution). The facility is 9,000 sq ft in size (60'x150'). The applicant has provided 9 vehicular parking stalls and 5 truck parking stalls. The applicant has also proposed providing 9 banked parking stalls for future use, if necessary. Per Section 17, Subd. 6(B) the City may permit a reduction in the number of parking stalls, as long as the applicant enters into a landbank parking agreement with the City. Per code, the applicant (without landbank parking agreement) would have to provide 18 vehicular parking stalls.

C. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas.

The proposed development is situated on 32 total acres. The disturbance area is in the southeast corner of the parcel, on roughly 201,877 sq ft or roughly 4.63 acres. The majority of the site will be undisturbed and will remain in agricultural use.

D. The amount and location of open space and landscaping.

The amount of open space and landscaping meets the requirements within our City Zoning Code.

E. Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

The proposed parking area, pedestrian circulation, access points to the public streets, and all other requirements have been met or are being addressed.

F. Protection of adjacent and neighboring properties through reasonable provision of surface water drainage, sound and light buffers, preservation of views, lights, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Surface drainage has been reviewed and approved by the City Engineer. There is not expected to be any other hindrances to surrounding property owners.

G. Consistency with the City's Engineering and Design standards as adopted by Resolution of the City Council.

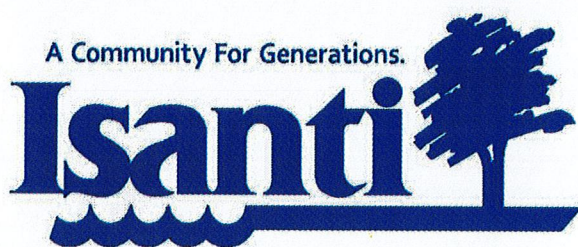
Stormwater management plans have been reviewed and approved by the City Engineer.

Decision

The Planning Commission held a public hearing on the item at the **November 20, 2018** meeting. The Planning Commission has recommended approval with the conditions stipulated in the Resolution.

Conditions

1. Adjust driveway entrance to align with Junction Bowl western driveway.
2. Add additional Wainscoting along West-side of building for future E Dual Blvd NE extension
3. Enter into a Landbank Parking Agreement with the City of Isanti
4. Properly screen any recycling and trash receptacles per City Ordinance
5. Provide screening around outdoor storage area per City Ordinance
6. Identify future right of way for the E Dual Blvd NE extension
7. Obtain proper federal, state, county, and City permits for construction and operation of the facility
8. Address concerns identified in the November 8th, 2018 letter from the CDD Director



Ryan J. Kernosky, MPA
Director of Community Development
Interim Director of Economic Development
City of Isanti, Minnesota
110 1st Avenue NW
PO Box 428
Isanti, MN 55040
763-444-5512
rkernosky@cityofisanti.us

November 8, 2018

Bogart, Pederson & Associates, Inc.
Attn Todd Olin
13076 First Street
Becker, MN 55308

Delivered Via Email



RE: KNIFE RIVER PROPOSED SEPTIC TANK CASTING FACILITY, UPDATED TIMELINE

Mr. Olin,

Thank you for submitting plans for a proposed septic tank casting facility on behalf of Knife River. Please review the following comments:

City Engineering

1. Impervious area shown as 2.8 acres on Sheet 3 but only 1.13 acres on Sheet 5.
 - a. Which area is correct? update plan and/or model and resubmit.
2. Submit documentation that existing groundwater level is more than 3-feet below infiltration basin bottom.
3. Show emergency overflow location, elevation and stabilization for 3P and 7P.
4. Model shows 3P outlet at 941.50 but rim on plans shows 941.00.
 - a. Which is correct? Update plan and/or model and resubmit.
5. Set SW corner of pavement edge near 3P above 10-year high water level at a minimum. 100-year elevation preferred.
6. Set building elevation 2-feet above 3P 100-year high water level.

City Planning

1. Extend brick on exterior to West-side of building.
2. Show fencing around outdoor storage area per City ordinance.
3. Dedicate future right of way easement to the City for Dual Blvd extension.
4. Align driveway entrance to match up with the Junction bowl driveway.

If you have any questions or concerns regarding this letter, please feel free to contact me by phone at (763) 444-5512 or via e-mail at rkernosky@cityofisanti.us.

Sincerely,

A handwritten signature in black ink, appearing to read "Ryan J. Kernosky".

Ryan J Kernosky, MPA
Community Development Director
Interim Economic Development Director
rkernosky@cityofisanti.us
763-444-5512



October 17, 2018

Mr. Ryan J. Kernosky, MPA
City of Isanti, Director of Community Development
110 1st Avenue NW
P.O. Box 428
Isanti, MN 55040

**RE: Request for Review and Consideration of the Proposed Knife River Corporation
Tank Casting Facility in the City of Isanti, Isanti County, Minnesota**

Dear Mr. Kernosky:

We are writing to request your review and consideration for the proposed Knife River tank casting facility planned on property on Cajima Street NE.

The subject property (PID# 05.020.1803-address not currently assigned) includes approximately 32.43 acres of property situated on the north side of Cajima Street NE approximately 1000' west of Hwy 65 NE. The subject property has two zoning designations. The western portion of the property is zoned T1-I Tier 1 Industrial and the northeastern portion is zoned T1-B Tier 1 Business. The proposed improvements are located entirely within the T1-I district.

The proposed site plan includes a new 9000 (60'x150') s.f. building on a parcel of land situated on the north side of Cajima Street NE, which includes approximately 32 acres of land (please refer to the Certificate of Survey enclosed for details). In addition, the proposed site improvements include an improved access drive (existing gravel driveway) located at the southeast corner of the property, concrete approaches on the east and west ends of the building, a new parking facility south of the new facility and a gravel surface north of the new facility to be utilized to stage concrete septic tanks and concrete lids while they cure.

The new facility will house concrete tank and lid forms. Concrete will be transported via a concrete tank truck from the concrete batch mixing plant east of the proposed facility. Concrete will be poured into the forms in the new facility, and the tanks will then be staged on the proposed gravel surface, north of the proposed building to cure.

Based on our review and understanding of the City Zoning Ordinance, the definition of the proposed use is medium industrial and the staging area to the north of the proposed building is defined as outdoor storage. In addition to tank staging, steel rebar will be stored north of the building, which will be utilized as reinforcement in the concrete tanks and tank lids.

The proposed facility is planned to occupy the southeast corner of the subject parcel, which is currently utilized for agriculture/crops. The proposed improvements will occupy approximately 4.6 acres of the overall 32.43+/- acre parcel (14%). The balance of the property will continue to be utilized for agriculture/crops.

Based on our recent discussions, the City's Comprehensive plan designates the subject property for expansion of the existing industrial park. As part of the comprehensive plan, East Dual Blvd. will likely be extended north to serve the future industrial uses. We incorporated a proposed right-of-way projected north, from the intersection of East Dual Blvd. to illustrate the approximate location of the proposed road right-way. In addition, we configured the proposed site layout to accommodate the future improvements.

The principal building setbacks in the T1-I zoning designation at: 67' front yard setbacks, 15' side setbacks and 30' rear yard setbacks. The building is situated with a 140' front yard setback and 160' side yard setback to the east property line. The setback to the west property line is over 600' and is over 1100' to the rear property line to the north.

The adjacent property zoning designations and uses are as follows:

	<u>Zoning Designation</u>	<u>Existing Use</u>
• West	T1-I Tier 1 Industrial	Railroad Right-of-Way
• East	T-1 Tier 1 Commercial	Knife River Redi-Mix Concrete
• South	I-1 & B-2	Various Industrial and Business Uses
• North	A/R Agricultural Residential	Farm/Crops

The uses surrounding the property include various industrial and business/manufacturing facilities with the exception to the property to the north, which is zoned and utilized for A/R Agricultural Residential and is occupied by one farm, which is surrounded by crops. According to the City Zoning Code, buffers are not required between similar business and industrial uses, but screening is required between residential and industrial uses. In addition, the outdoor staging area requires screening as part of the conditional use permit. We request that the screening requirement be waived considering the specific site conditions. There is a thick, mature stand of trees and brush along the south property line that screens the sight lines from Cajima Street and properties to the south. We provided a setback over 600' to the west to the railroad right-of-way and over 1100' setback to the north property line.

The existing surface drainage characteristics include relatively gently sloped surface, which falls gradually to the northeast. We prepared a grading plan to illustrate the proposed drainage characteristics, which mimic the existing surface drainage patterns. The proposed grading plan collect and route surface drainage easterly and then northerly toward a low area northeast of the proposed gravel surface area. The design incorporates slopes away from the proposed building, and collection of storm water in a storm water treatment and staging area. The proposed storm water treatment facility is sized to manage the peak discharge from a 2, 10, 100-year rainfall event and relies on infiltration in accordance with MPCA design requirements. Emergency overflow is directed north into the low-lying area, away from the existing and proposed facilities.

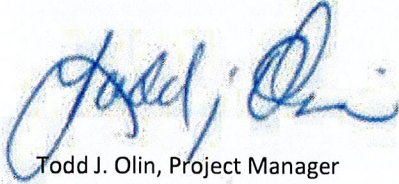
Public domestic watermain and sanitary sewer is located within the Cajima Street right-of-way, which within the City of Isanti. The subject property is currently located outside the City limits. We incorporated a 2500-gallon underground concrete holding tank outside the southeast corner of the building. Knife River Corporation will rely on the holding tank for wastewater collection and holding. Knife River Corporation will enter into a contract with a local waste water disposal company to provide waste water removal (pump& haul). We will provide a copy of the service contract for reference. A domestic water well is planned to be installed south of the proposed building to serve proposed building.

We request an estimate of the water access charge, sewer access charge, assessments due upon connection and any other related charges anticipated in the event Knife River Corporation elects to utilize the public utilities. We understand that, in the event connections are requested, a request to annex the subject property will be required prior to access to the utilities.

Please review the information enclosed and contact our office with any questions or concerns. We appreciate your assistance to date and look forward to working with you through the course of review of this project.

Sincerely,

Bogart, Pederson & Associates, Inc.

A handwritten signature in blue ink, appearing to read "Todd J. Olin".

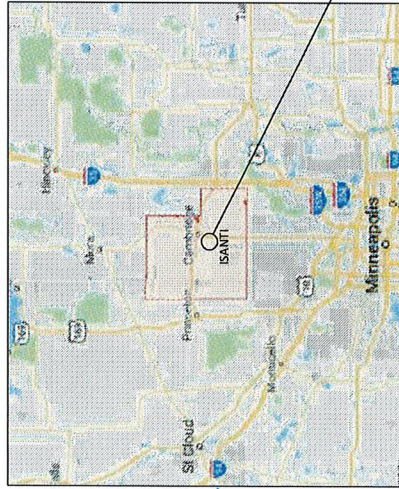
Todd J. Olin, Project Manager

Proposed Knife River Tank

Casting Plant Project

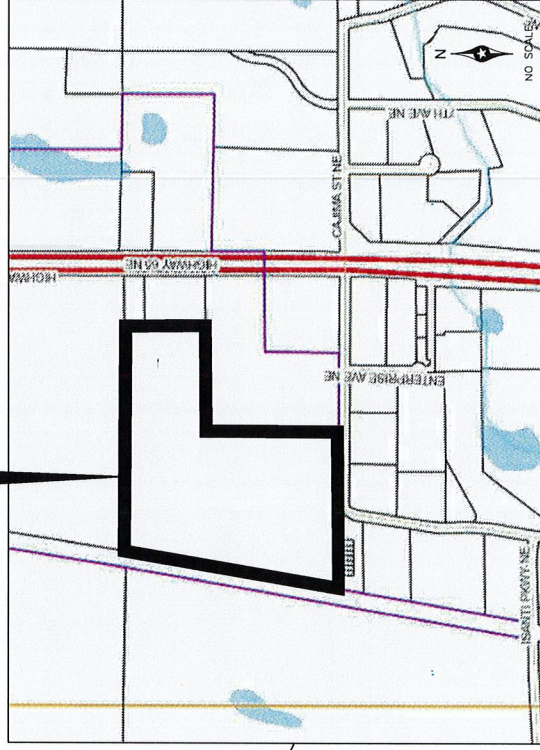
Part of Section 20, Township 35, Range 23,
City of Isanti, Isanti County, Minnesota

CALL 48 HOURS BEFORE DIGGING
GOPHER STATE ONE CALL
TWIN CITY AREA 651-434-0002
MINNESOTA TOLL FREE 1-800-252-1866



ISANTI COUNTY

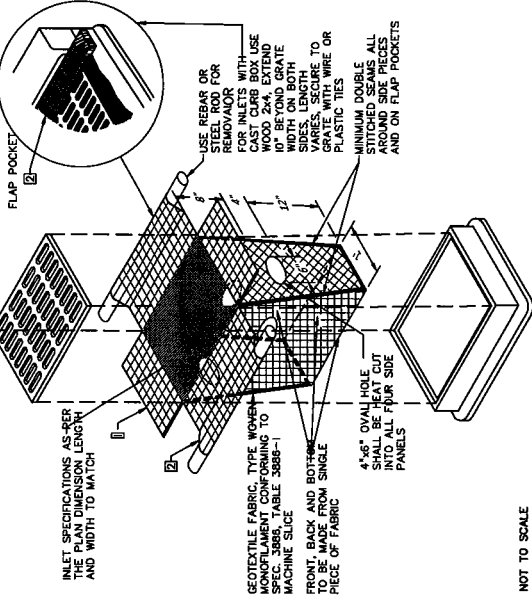
PROJECT LOCATION



VICINITY MAP

PROJECT TITLE & SHEET INDEX	1
CERTIFICATE OF SURVEY	2
SITE PLAN	3
GRADING & EROSION CONTROL PLAN	4
SWPPP NARRATIVE	5
CONSTRUCTION DETAILS	6
CONSTRUCTION DETAILS	7

PROJECT TITLE & SHEET INDEX Casting Plant Project Part of Section 20, Township 35, City of Isanti, Isanti County, Minnesota	SHEET NO. 1 / 7
BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING CIVIL ENGINEERING 3004 18TH STREET, BECKER, MN 55008-9222 TEL: 763-763-0022 FAX: 763-763-0044	DATE: 10/18/18 REV NO. _____ DATE _____ DESCRIPTION _____
DESIGN BY: JVA, JKB, JKB DRAWN BY: JVA, JKB, JKB CHECKED BY: MJA DWG FILE: Cast Plant FILE NO.: 18-0336-00	DATE: 10/18/18 REV NO. _____ DATE _____ DESCRIPTION _____



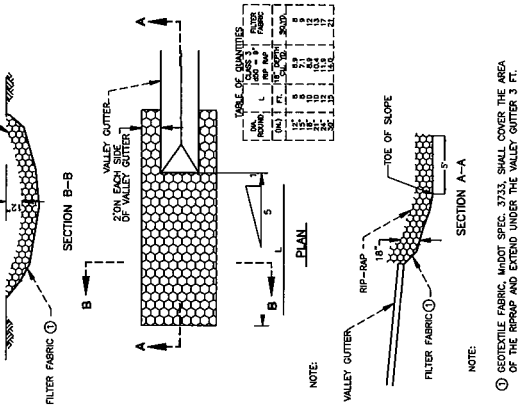
NOTES:

- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DISCRETION OF THE ENGINEER. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN SUBSTITUTED, THE SUBSTITUTION SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL IN THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES:

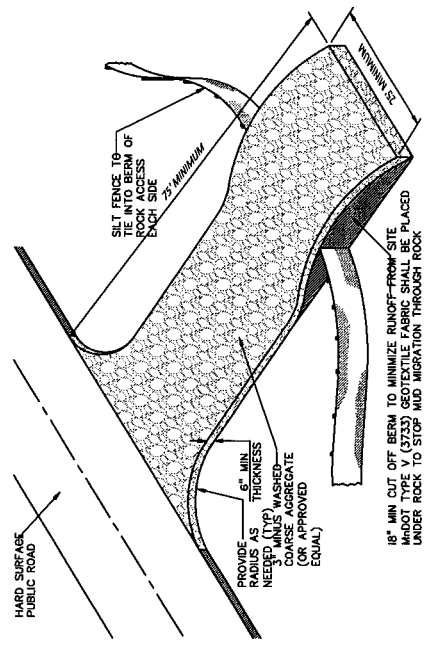
- DO NOT INSTALL PROTECTION IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. BETWEEN THE INLET AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CLIMB THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. ZIP TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOT TO SCALE



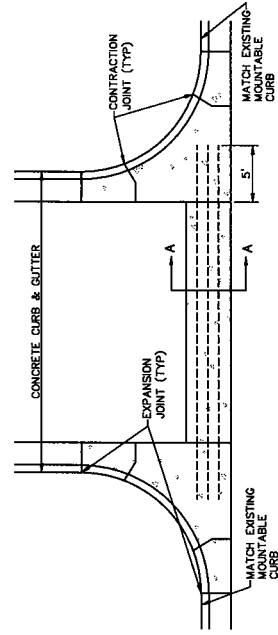
RIE-RAP INSTALLATION

INLET PROTECTION - GEOTEXTILE BAG



NOT TO SCALE

ROCK CONSTRUCTION ENTRANCE

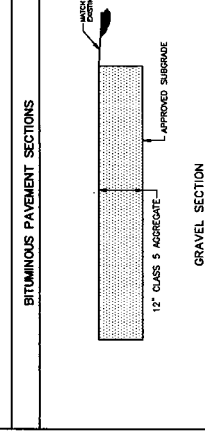


NOTES:

- NO CONTRACTION JOINTS IN VALLEY GUTTER.
- VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5.

NOT TO SCALE

DRIVEWAY STREET ENTRANCE



BITUMINOUS PAVEMENT SECTIONS

GRAVEL SECTION

GRAVEL PAVEMENT SECTION

DATE:	10/19/18	REV:	
DESCRIPTION:			
DESIGN BY:	BRUNA, JOE, DPL	CHECKED BY:	Z-DELMAS
DRAWN BY:	MA	FILE NO.:	18-03356.00

BOART PEDERSON & ASSOCIATES, INC.

1501 WEST STREET, SUITE 200, MINNEAPOLIS, MN 55404-4222
 TEL: 763-282-2022 FAX: 763-282-2044

Proposed Knife River Tank
 Casting Plant Project
 Part of Section 20, Township 35, City of
 Isanti, Isanti County, Minnesota

SHEET NO. 7
 7



**CITY OF ISANTI
SPECIAL PLANNING COMMISSION MEETING
TUESDAY DECEMBER 4, 2018
IMMEDIATELY FOLLOWING THE CITY EDA MEETING AT 7:00 PM
CITY HALL – 110 1st Ave NW Isanti, MN 55040**

1. Meeting Opening
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
2. Approval of the Agenda
3. Meeting Minutes
 - A. Approval of Minutes from the November 20, 2018 Planning Commission Meeting
4. Public Hearings

(Note: At the conclusion of the public hearing, the City Planning Commission may consider motions on the item subject to the public hearing)

 - A. Request from Level Contracting, LLC for a Planned Unit Development of "Heritage Estates" subdivision for the properties legally described as Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota.
5. 2019 Planning Commission Tentative Meeting Schedule
6. Adjournment

1. Meeting Opening.

A. Call to Order.

Chairman Wimmer called the meeting to order at 7:40 p.m.

B. Pledge of Allegiance.

The Pledge of Allegiance was recited.

C. Roll Call.

Members Present: George Wimmer, Ross Lorinser, Paul Bergley, Dan Collison, Steve Lundeen, Arissa Simon.

Members Absent: Joey Lemay (excused).

Staff Present: Ryan Kernosky, Community Development Director.

1D. Agenda Modifications.

Director Kernosky stated that there were no agenda modifications

2. Approval of the Agenda

Motion by Lundeen, seconded by Bergley to adopted the agenda, approved unanimously.

3. Approval of the Minutes from the November 7, 2018 Special Planning Commission

Motion by Collison, seconded by Lundeen to approve the minutes from the November 7, 2018 Special Planning Commission meeting, approved unanimously.

4. Public Hearings

A. Request from Knife River for I-1 Tier-1 Conditional Use Permit & Site Plan Approval of a Medium Manufacturing Facility for a Septic Tank Casting Facility on PID 050201803.

Director Kernosky stated that Knife River has submitted a complete application for a conditional use permit and site plan approval of a medium manufacturing facility that will be utilized as a septic tank casting facility. Kernosky stated that the property is not within the City's immediate municipal jurisdiction, however it is zoned I-1 Tier 1, and as such we have the land use zoning authority over this project and the development of that site. Kernosky went over the staff conditions within the resolution.

Mayor Wimmer opened the public hearing at 7:44 pm.

No one spoke during the public hearing.

Mayor Wimmer closed the public hearing at 7:44 pm.

Commissioner Lundeen asked what Junction Bowl thought about the development.

County Commissioner Mike Warring and owner of Junction Bowl stated that he did not see any problems with the proposed development.

Commissioner Lorinser asked whether or not this property was within the TH-65 Overlay Zoning District. Director Kernosky stated that industrial-zoned properties are not subject to the TH-65 Overlay Zoning District. Lorinser continued to ask about possible annexation of this property instead of allowing the development without annexation. Kernosky stated that if the industrial park was to ever extend north into the future, the property would be annexed. Kernosky also stated that there are currently special assessments against the property due to the Cajima St NE reconstruction project and that those special assessments would be due at that time.

Commissioner Bergley inquired about the landbank parking agreement. Kernosky stated that part of the conditions is that Knife River enters into a landbank parking agreement with the City.

Commissioner Collison stated that he would like to see Knife River do a better job of sweeping the street to remove debris. Kernosky stated that because the City is now an MS4 community, we can require them to clean up the street and that we have the authority to issue fines if needed.

Motion by Lorinser, second by Bergley to approve the Conditional Use Permit and Site Plan Review for Knife River with Staff Conditions. Motion passed unanimously.

5. Discussion Items

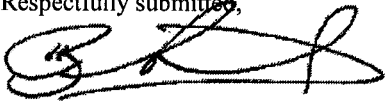
None

6. Adjournment

Motion by Lorinser, second by to Bergley to adjourn the November 7, 2018 meeting of the Planning Commission. Motion was unanimously approved. The meeting adjourned at 7:50 p.m.

Dated at Isanti, Minnesota this 28th day of November, 2018.


Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Kernosky', written over a horizontal line.

Ryan Kernosky
Community Development Director

**MEMORANDUM**

TO: Isanti City Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: December 4, 2018

SUBJECT: **PUBLIC HEARING: PLANNED UNIT DEVELOPMENT FOR HERITAGE ESTATES SUBDIVISION**

Request:

Planning Commission hold a public hearing and review the proposed Planned Unit Development (PUD) for Heritage Estates subdivision submitted by Level Contracting, LLC.

What's a PUD?

In the most basic way, a PUD is a creative zoning district adopted just for specific projects and developments. PUDs allow the City and the developer greater freedoms, imagination, and flexibility of development by circumventing our traditional zoning code, which may cause undue hardships on development of parcels.

Often, when considering a PUD, the City Council should consider the following:

- 1) Density of Housing
- 2) Design & Layout of Development
- 3) Housing Styles
- 4) Preservation of Natural Resources
- 5) Reduction in Utility Costs
- 6) Consistency with the Comprehensive Plan

This list is not all inclusive, but rather a guiding point for the Planning Commission.

Background:

Heritage Estates was originally part of the Sun Prairie First Addition, this development included 60 units of attached townhomes in several buildings (3-4 units per building). Currently, the property is zoned R-3B "Medium Density Multiple-Family Residential". The developer has proposed 50 single-family homes (a mixture of detached townhomes and split-level homes).

The R-3B underlying district allows up to 10.89 units/acre the overall density of this project is 5.43 units/acre. Detached townhomes and single-family homes are not permitted uses in the R-3B zoning district; however, the City Council may allow them as part of the PUD. The other option may include rezoning the property to R-3A, which would be more restrictive in density and lot sizes.

Planning Commission Review:

The Planning Commission reviewed this conceptual plan during a Special meeting on November 7, 2018. They were supportive of the 50-unit development and recommended approval.

City Council Action:

City Council reviewed the conceptual plan and authorized staff to bring the public hearing process during the regular meeting on November 20, 2018.

Public Hearing Notice:

The Public Hearing notice was published in the November 22, 2018 issue of the *Isanti County News*. Property owners within 350' of the property were notified via USPS.

At the time of this staff report, no public comment has been provided to my office.

Staff Recommendation:

Approve the attached Resolution.

Attachments:

Resolution No. 2018-XXX

RESOLUTION NO. 2018-XXX

**A RESOLUTION APPROVING THE PLANNED UNIT DEVELOPMENT FOR
HERITAGE ESTATES**

WHEREAS, Level Contracting, LLC, developer, has applied for a Planned Unit Development for Heritage Estates, a residential development located on Outlots A, B, & D, Sun Prairie First Addition, Isanti County, Minnesota; and,

WHEREAS, the City Planning Commission of the City of Isanti has reviewed and held a public hearing on the Preliminary Plat and reviewed the conceptual Planned Unit Development and has recommended approval to the City of Isanti City Council during a Special Meeting of the Planning Commission on November 7, 2018; and,

WHEREAS, the City Council of the City of Isanti reviewed and approved the Preliminary Plat and conceptual Planned Unit Development per City Council Resolution No. 2018-257 and 2018-258; and,

WHEREAS, the City Planning Commission of the City of Isanti held a public hearing on the Planned Unit Development during a Special Meeting of the Planning Commission on December 4, 2018 and has recommended approval with the conditions set forth in this Resolution; and,

WHEREAS, the City Council of the City of Isanti has reviewed the Planned Unit Development during the December 18, 2018 Regular Meeting of the City Council.

NOW, THEREFORE, IT IS HEREBY RESOLVED, by the City Council of the City of Isanti, Minnesota, that it adopts the Findings of Fact and Conclusion related to the requested Planned Unit Development for Heritage Estates and **BE IT FURTHER RESOLVED** that the requested Planned Unit Development of Heritage Estates be approved with the following conditions:

1. Planned Unit Development approval is for 50 single-family lots abutting Cherrywood Ln NE, 8th Avenue NE, and 9th Avenue NE.
2. Density of this Planned Unit Development shall not exceed 5.43 units/acre.
3. Direct driveway access to Heritage Blvd NE (CSAH 5) shall be prohibited, all driveway access shall be along said streets in condition #1.
4. Development Regulations:
 - a. Single-family homes are a permitted use within this Planned Unit Development.
 - b. Lots abutting Heritage Blvd NE (CSAH 5) shall have a minimum setback of 50' from the Heritage Blvd NE (CSAH 5) Right of Way.
 - c. Block 1: Lots 1-14
 - i. Street Yard Setbacks: 30'
 - ii. Side Yard Setbacks: 5'
 - iii. Rear Yard Setbacks: 50'

- d. Block 1: Lots 15-18
 - i. Street Yard Setbacks: 30'
 - ii. Side Street Setbacks: 20'
 - iii. Side Yard Setbacks: 5'
 - iv. Rear Yard Setbacks: 30'

- e. Block 2: Lots 3-8
 - i. Street Yard Setbacks: 30'
 - ii. Side Yard Setbacks: 5'
 - iii. Rear Yard Setbacks: 15'

- f. Block 2: Lots 1-2, 9-12
 - i. Street Yard Setbacks: 30'
 - ii. Side Street Setbacks: 20'
 - iii. Side Yard Setbacks: 5'
 - iv. Rear Yard Setbacks: 30'

- g. Block 3: Lots 1-3
 - i. Street Yard Setbacks: 30'
 - ii. Side Yard Setbacks: 5'
 - iii. Rear Yard Setbacks: 10'

- h. Block 3: Lots 4-20
 - i. Street Yard Setbacks: 30'
 - ii. Side Yard Setbacks: 5'
 - iii. Rear Yard Setbacks: 30'

- 5. Any other zoning regulations must be compliant with the underlying zoning district at the time of this adoption – R-3B “Medium Density Multiple-Family Residential”
- 6. This Planned Unit Development shall only be implemented after the Final Plat of Heritage Estates subdivision has been properly filed with the Isanti County Recorder and Auditor’s office.
- 7. This Planned Unit Development shall only be implemented after the Developer and City have entered into a Development Agreement for the development of this subdivision.

Adopted this 18th Day of December, 2018.


Mayor George A. Wimmer

ATTEST:

Katie Brooks
City Clerk/Human Resources

**MEMORANDUM**

TO: Planning Commission

FROM: Ryan Kernosky, Community Development Director 

DATE: December 4, 2018

SUBJECT: **REVIEW OF 2019 PLANNING COMMISSION MEETING SCHEDULE**

Attached is a tentative schedule for 2019. The meeting dates coincide with the third City Council meeting of each month and are to start immediately following the regularly scheduled meeting of the City Council (beginning at 7:00 pm). Staff would like the Planning Commissioners to review the tentative schedule, check calendars, and be prepared for its adoption at the January 2019 meeting.

There is no required action, just an informational item.

2019 Planning Commission Public Hearing Deadlines and Dates

The City Planning Commission shall hold regular meetings immediately following the 2nd 7:00 p.m. City Council Meeting on the 3rd Tuesday of every month at Isanti City Hall. All meetings are held at Isanti City Hall at 110 1st Avenue NW, Isanti, MN 55040 in the City Council Chambers. The 2019 scheduled meeting dates and deadlines are below:

Date	Deadline for Submission	Public Hearing Deadline	PH Publication Date
January 15 th	December 14 th	December 28 th	January 3 rd
February 19 th	January 18 th	February 1 st	February 7 th
March 19 th	February 22 nd	March 1 st	March 7 th
April 16 th	March 22 nd	March 29 th	April 4 th
May 21 st	April 19 th	May 3 rd	May 9 th
June 18 th	May 18 th	May 31 st	June 6 th
July 16 th	June 21 st	June 21 st	June 27 th
August 20 th	July 19 th	August 2 nd	August 8 th
September 17 th	August 23 rd	August 30 th	September 5 th
October 15 th	September 20 th	September 27 th	October 3 rd
November 19 th	October 18 th	November 1 st	November 7 th
December 17 th	November 15 th	November 29 th	December 5 th